

**Town of Boone
Town Council/Planning Commission
Special Meeting
5:30 PM, Sep. 19, 2016
Council Chambers, 1500 Blowing Rock Road**

I. Call to Order

II. Wellness District - Development Standards

Wellness District Small Area Plan

Current UDO Article 17 Wellness District Standards

Revisions to Article 17 Wellness District Standards as Presented at
Workshop

III. Adjournment



TOWN OF BOONE

Wellness District Small Area Plan



Adopted August 20, 2015

This page intentionally left blank.

ACKNOWLEDGEMENTS

The Town of Boone

Mayor and Town Council:

Mayor Andy Ball

Council Member Quint David

Council Member Lynne Mason

Mayor Pro-Tem Rennie Brantz

Council Member Fred Hay

Council Member Jennifer Pena

Planning Commission:

Chair Eric Woolridge

Frank Bolick

Caroline Catoe

Matthew Long

Thomas Purpur

Jeff Templeton

Vice-Chair Gregory Simmons

Connor Boyle

Cameron Lippard

Susan McCracken

Jon Tate

Maxwell Wlodarczak

Community Appearance Commission:

Chair Brian Williams

James W. Buchanan

Emily Stallings

Vice-Chair Yogi Collins

Christopher Jackson-Jordan

Linda Wise

Tree Board:

Chair Loretta Clawson

Dr. James Hamilton

Vice-Chair Michael Kirk

Town Staff:

John Ward, Town Manager

Jane Shook, Development Coordinator

Chris Miller, GIS Coordinator

Bill Bailey, CPM, CZO, Planning Director

Brian Johnson, Urban Design Specialist

Marlene Crosby, Administrative Support Specialist

Special Acknowledgement for Assistance:

ColeJenest & Stone, PA

Appalachian State University

LS3P Associates, Ltd.

Appalachian Regional Health Systems

This page intentionally left blank.

Table of Contents

Introduction.....	1
Why A Small Area Plan?.....	1
Intent	1
District Area	1
District Background.....	1
Guiding Principles	2
Defining Design Standards.....	2
Applicability	2
Land Uses.....	4
Mix of Use Requirements for Large Developments.....	4
Permitted Land Uses	5
Design Standards	6
Streets and the Public Realm.....	6
Street Hierarchy and Gateways	6
Design Standards	7
Streets and the Public Realm.....	7
Intersections and Crosswalks	15
Streetscape Standards.....	16
Greenway Trails	20
Open/ Public Spaces	22
Public Art	23
Building Orientation and Setbacks	24
Building Orientation	24
Building Siting	24
Building Height and Scale	25
Building Height	25
Building Scale.....	25
Architectural Design Standards	26
Facades.....	26
Building Materials.....	27
Fenestration	27
Pedestrian Entrances.....	28
Roofs.....	28
Utilities, Mechanical/ Service Equipment & Dumpster Screening	29
Site Design Standards	30
Driveways and Access.....	30
Vehicular Requirements	30
Parking Reductions	31
Surface Parking Lots	32
Parking Structures	32
Drive-Through Facilities/ Stacking Spaces	33
Loading/ Unloading Areas	33

Pedestrian Walks & Accessibility	34
Site Furnishings	34
Site Lighting.....	36
Landscaping	37
Environmental.....	40
Special Flood Hazard Area	40
Watershed	42
Stream Buffers	42
Stormwater Management	42
Signage	43
Signs Permitted in the Wellness District	43

Introduction

Why A Small Area Plan?

The Boone area is a growing community and health care technology is changing at an ever-increasing rate. That's why the Town has developed a Small Area Plan to assure our community has the capacity to meet its future medical needs.

Our service area now includes more than 350,000 people from several counties and two states and that number is expected to increase as our community grows. In response to rapid changes in the field of health care and a realization that our current facilities are spread all over town and are reaching capacity, the Town Council authorized the preparation of this Small Area Plan to guide the growth and development of health care providers, facilities and supporting uses.

Intent

Boone's Wellness District Small Area Plan (The Plan) is designed to meet the expanding health care needs of Boone and surrounding areas in the years to come. The purpose of The Plan is to support economic development and direct investment efforts of the various existing and future institutional users located within the Plan Area.

The Plan is intended to provide for a mix of uses with a concentration on medically related academic, wellness, multifamily residential, commercial and support uses within a more urban, pedestrian-friendly environment.

Urban design (the design of buildings, streets and other public spaces and their interrelationships) are a major factor in determining the district's economic, social and cultural sustainability. The Town's zoning and planning documents, as well as other development standards and input from stakeholders were influential in guiding these decisions and shaping the Plan area's character, quality of life and sustainability.

District Area

The proposed Wellness District (See Figure 1: District Map) is located in the southeastern portion of the Town of Boone bounded by Watauga Medical Center to the east, US Highway 321 (Blowing Rock Road) to the south, Winklers Creek to the west and the Middle Fork South Fork New River to the north totaling approximately 101 +/- acres. The area is comprised of a hospital, medical offices, multi-family residential complexes and small office buildings.

District Background

Development in the area has occurred over several decades with no design consistency. Most of the structures were constructed in the 1960's and 70's reflecting the automobile and thoroughfare-oriented development standards predominant at the time. Many sites have large parking lots fronting streets with buildings set furthest away. Most structures are one or two stories with no predominate style of architecture, signage or lighting. There are some sidewalks in the area, but very little interconnectedness between buildings and parcels. Pedestrians, reportedly, feel unsafe crossing parking lots to access businesses. Few sites share access, parking, landscaping or other amenities.

In recent years, Appalachian State University began exploring the opportunity to relocate the College of Health Sciences to an 8.98+ acre site adjacent to and north of Watauga Medical Center at the intersection of State Farm Road and Deerfield Road. The plan includes a 203,000+ SF academic facility with associated parking and amenities. With the combined growth of Appalachian State University (the Town's largest employer), and Watauga Medical Center (the Town's second largest employer), the relocation of the university's College of Health Sciences is anticipated to spur economic development and revitalization that will "lift" the entire district.



Existing Site Conditions

Introduction

Guiding Principles

The Boone 2030 Land Use Plan identifies the area around Watauga Medical Center as a regional, mixed-use activity center appropriate for commercial and employment development as well as the area's highest density housing in the form of an urban transect zone or district. The Wellness District will become a vibrant, mixed-use, urban neighborhood with general development principles shaping its redevelopment. The following principles serve as the basis for the design standards contained in this document:

- Promote a pedestrian-oriented, human-scale, mixed-use urban form.
- Facilitate infill redevelopment with higher densities and a more urban feel.
- Maximize connectivity and access. Successful revitalization requires a multimodal circulation network where workers, visitors and residents may conveniently walk, bike, drive or ride public transportation to destinations within and outside of the district.
- Establish building forms and street standards to shape the public realm
- Create a sense of place and neighborhood identity.
- Require excellence in the design of the public realm and of buildings fronting public spaces.
- Encourage creativity, architectural diversity and exceptional design. Standards are intended to support creativity and exceptional design while discouraging uniformity.
- Promote sustainable development that minimizes negative impacts on natural resources.
- Encourage the integration of public art into public and private development.

Defining Design Standards

Design standards are objective, measurable regulations, often illustrated through diagrams and sketches, with which all projects must comply.

The Wellness District Design Standards are intended to be clear and concise while the development review process is intended to be predictable, flexible and facilitate the timely approval of conforming projects. If a project of exceptional design is clearly consistent with the guiding principles but does not conform to a certain design standard, the Community Appearance Commission and Town Council may approve a plan that cites the project's compliance with those principles. For projects not conforming to the height and setback regulations, a variance approved by the Board of Adjustments may also be required.

Design standards contained in this document are largely form-based standards of a mixed use classification. Form-based standards differ from conventional zoning standards in their emphasis on shaping the form of buildings and public spaces rather than the segregation of different land uses.

- Design Standards within a form-based code allow for flexibility in accommodating greater densities and a mix of uses within the district.
- These design standards have been developed to create a unified vision and define the character of the Wellness District.
- These design standards are consistent with the intent of the Town of Boone Unified Development Ordinance, 2006 Comprehensive Plan Update, Boone 2030 Land Use Plan and other adopted plans and policies of the Town.

These design standards shall be incorporated into the UDO. The Wellness District Design Standards are intended to minimize references to other sections of the Town's Unified Development Ordinance. Developers are responsible, however, for reviewing and complying with all pertinent zoning and subdivision standards, including those not directly referenced in this document. All development must comply with all federal, state, and town regulations.

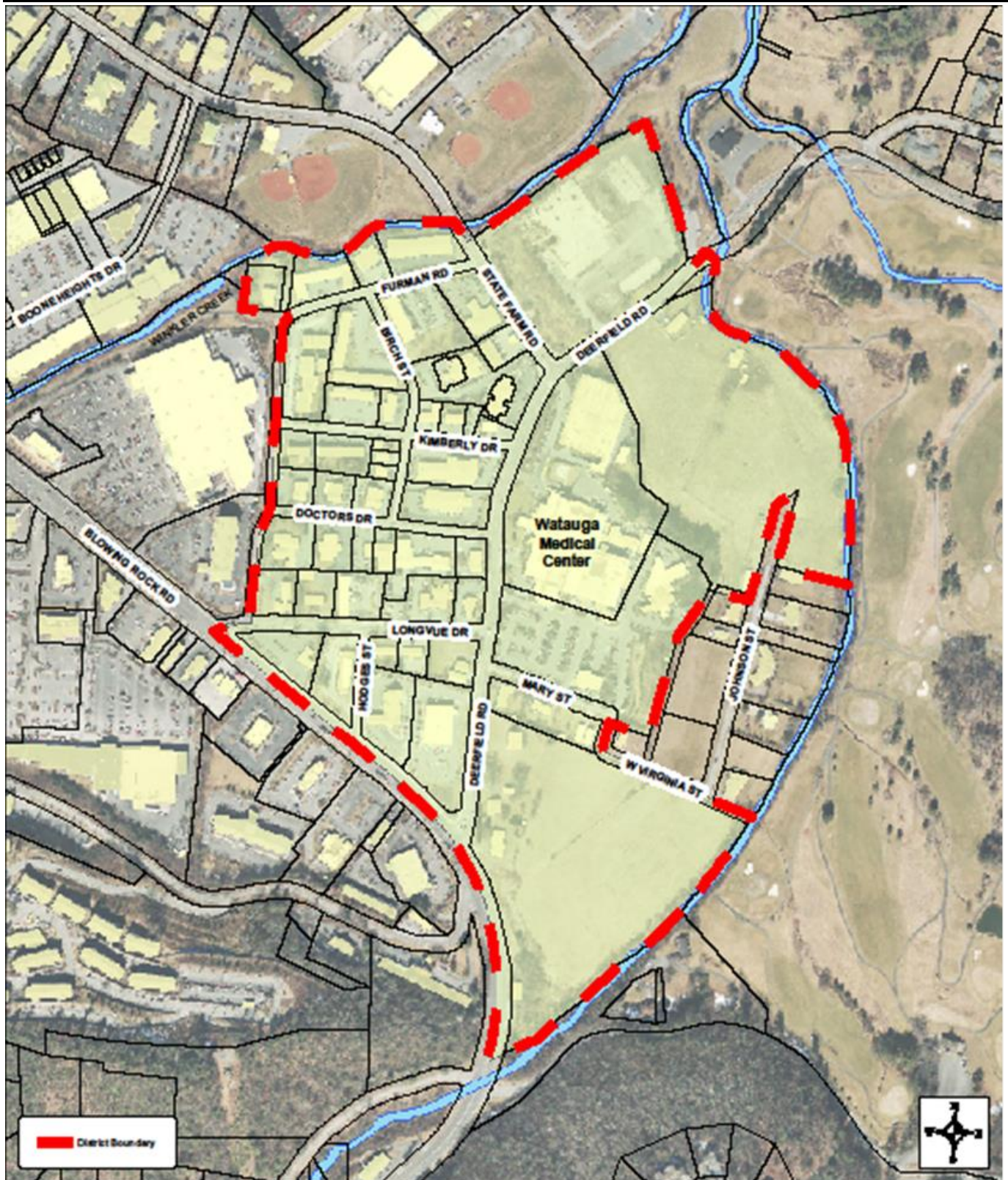
Applicability

To encourage use of the Wellness District Design Standards, incentives such as expedited review and approvals and/or reduced submittal fees may be used. Proposed developments following the Wellness District Design Standards shall be approved administratively through the Preliminary Site Plan Process. The Wellness District Design Standards shall apply to:

- All new building construction.
- All building expansion with removal of more than 25% of existing wall facing a public street or removal of more than 50% of existing exterior walls.
- All existing buildings not in conformance with the requirements of the underlying district or this overlay district at the time of adoption shall be governed by the Town of Boone, Unified Development Ordinance, Article 7 Nonconformities.

Introduction

Figure 1: District Map



Communication: Wellness District Small Area Plan (Wellness District - Development Standards)

Land Uses

Mix of Use Requirements for Large Developments

The Wellness District is intended to promote a diverse mixture of medical, education, office, retail and residential uses within a compact, vibrant pedestrian oriented center while encouraging community interaction and transportation options. To incorporate high-quality urban design, vertical mixed-use buildings are encouraged.

Except for Appalachian State University, Appalachian Regional Healthcare System, and other medical facilities, developments containing more than 20,000 square feet or building foot-prints greater than half an acre shall provide for a mix of two or more permitted uses. Retail uses are encouraged on the street frontages of mixed use buildings, promoting pedestrian activity along public sidewalks. Residential uses are not permitted on the ground floor.



Mixed-Use Developments

Land Uses

Permitted Land Uses

The permitted uses allowed within the Wellness District (see Figure 2: Wellness District Permitted Uses) are those permitted under the Town of Boone, Unified Development Ordinance, Article 15, District Use Requirements as of the date of the approved Wellness District and further limited herein.

Figure 2: Wellness District Permitted Uses

1.0 Household Living:	11.0 General Sales and Service Continued
1.14 Multi-Family Dwelling in Mixed Use (up to 30 bedrooms)	11.20 Medical Office, Category 1
1.15 Multi-Family Dwelling in Mixed Use (31-100 bedrooms)	11.21 Medical Office, Category 2
1.16 Multi-Family Dwelling in Mixed Use (>100 bedrooms)	11.22 Medical Office, Category 3
	11.23 Medical Office, Category 4
2.0 Group Living	11.24 Hospital
2.05 Nursing Care Home	11.25 Medical Emergency Response
2.06 Nursing Care Institution	11.35 Therapy Farm
2.07 Skilled Nursing Facility	
2.09 Retirement Community, Category 2	12.0 Recreation
	12.10 Recreation Facility, Category 1
3.0 Transient Living:	15.0 Parking
3.07 Hotel	15.01 Parking Structure
4.0 Institutional Uses:	
4.05 Post Office	Accessory Uses
5.0 Government Uses:	A-2 Home Occupation
5.12 Police Substation	A-4 Limited Non-Restaurant Drive-Through
	A-7 Outdoor Dining
7.0 Telecommunication:	A-8 Automated Teller Machine (ATM)
7.11 Emergency Response Communications	A-9 Automated Teller Machine (ATM), Freestanding
	A-19 Helistop
8.0 Assembly	A-20 Swimming pools, spas and hot tubs
8.01 Religious Assembly, Category 1	
9.0 Education	Temporary Uses
9.01 Appalachian State University	T-3 Temporary Construction Trailer
9.02 Caldwell Community College & Technical Institute	T-4 Temporary Mobile Medical Unit
9.03 Other Public Colleges & Universities	T-5 Temporary Classroom
9.04 Other Private Colleges & Universities	T-8 Temporary Non-Fixed Site Event Venue
	T-9 Temporary Carrier on Wheels (COW)
10.0 Daycare	T-11 Temporary Itinerant Merchant/Peddler
10.01 Child Daycare, Large	
10.02 Child Daycare Center	Additional Uses Allowed on Properties Located Within
10.04 Adult Daycare Center	the Corridor Overlay District And Which Border Blowing
	Rock Road:
11.0 General Sales and Service:	11.16 Retail Store 25,000 ft ² and greater
11.04 Financial Institution ≤ 5,000 ft ²	
11.05 Financial Institution > 5,000 ft ²	
11.06 Restaurant ≤ 2,500 ft ² open to the public during 10 pm – 6 am	
11.07 Other Restaurants ≤ 2,500 ft ²	
11.08 Restaurant > 2,500 ft ² open to the public during 10 pm – 6 am	
11.09 Other Restaurants > 2,500 ft ²	
11.13 Other Personal Service Establishments	
11.14 Retail Store up to 5,000 ft ²	
11.15 Retail Store more than 5,000 but less than 25,000 ft ²	
11.18 Business/Professional Office open to the public during 10 pm–6 am	
11.19 Other Business or Professional Office	

* Note: Residential uses are not permitted on the first floor of any structure.

Design Standards

Streets and the Public Realm

Making the Plan Area roadways and pedestrian pathways more efficient is a vital part of the Wellness District Small Area Plan. Transit ways, neighborhood infrastructure, pedestrian spaces, and open space will be physically connected to provide efficient and attractive linkages.

The street network for the Wellness District provides a hierarchal level of connectivity so motorists, bicyclists, pedestrians and transit users can choose the most direct, safe route to their destination. The multimodal street classification system has been organized by function and community context and is used to define the function of streets and provide guidance for making appropriate decisions regarding land development, site access management, transportation improvements and appropriate transit system accommodations.

The District's Complete Streets design standards and guidelines provide for vehicular capacity and mobility, while also promoting a safer and more comfortable environment for pedestrians and cyclists. All streets in the district shall have curb and gutter.

Street Hierarchy and Gateways

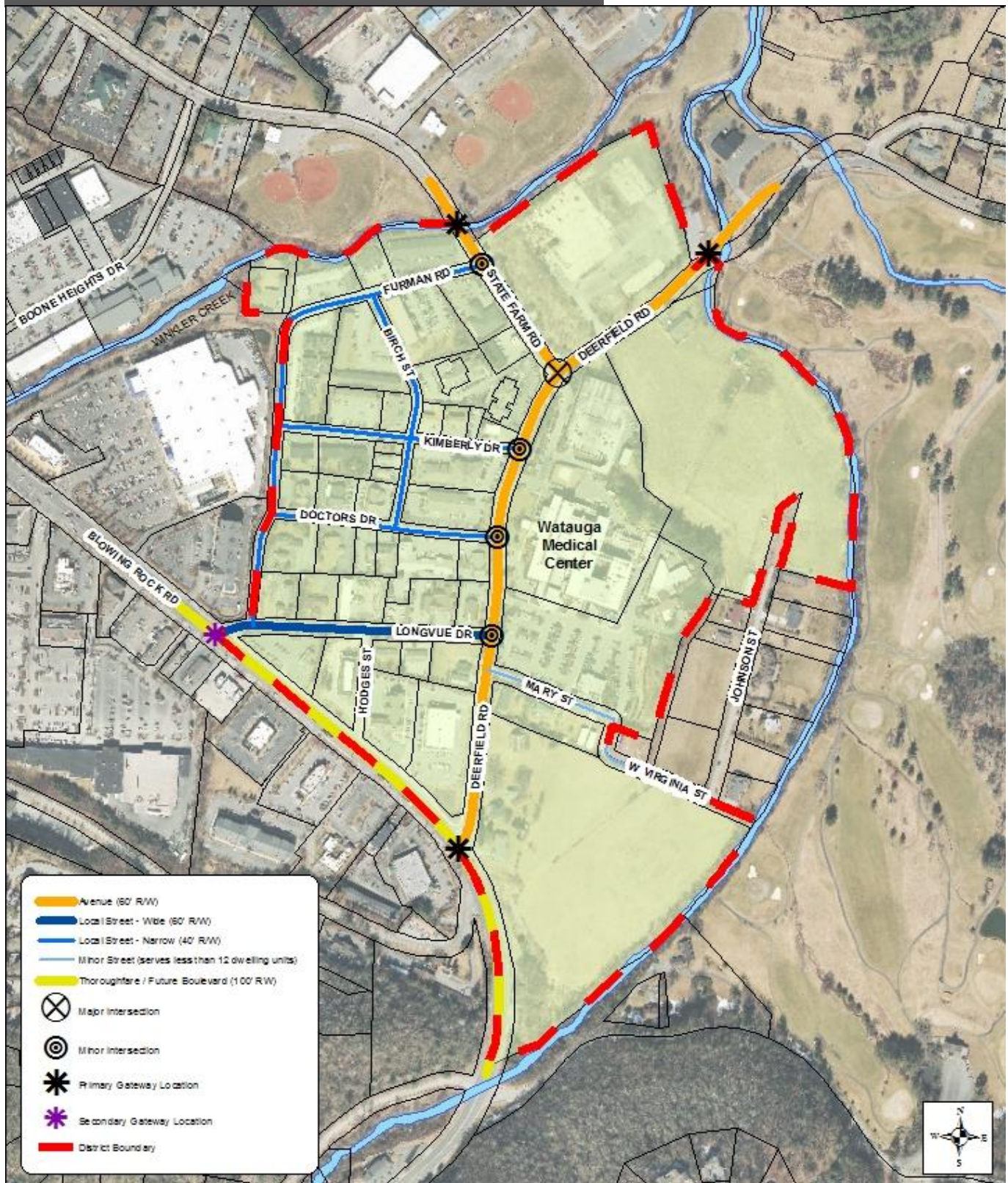
(See Figure 3: Street Hierarchy and Gateways)

The Wellness District's existing urban street grid shall be preserved to maximize street connectivity for vehicles, pedestrians, bicycles and public transportation. The grid promotes efficient circulation with a wide range of mobility options. The following section describes the district's context-sensitive street classifications:

Design Standards

Streets and the Public Realm

Figure 3: Street Hierarchy and Gateways





Avenues

Avenue (See Figure 4 - Avenue Cross-Section)

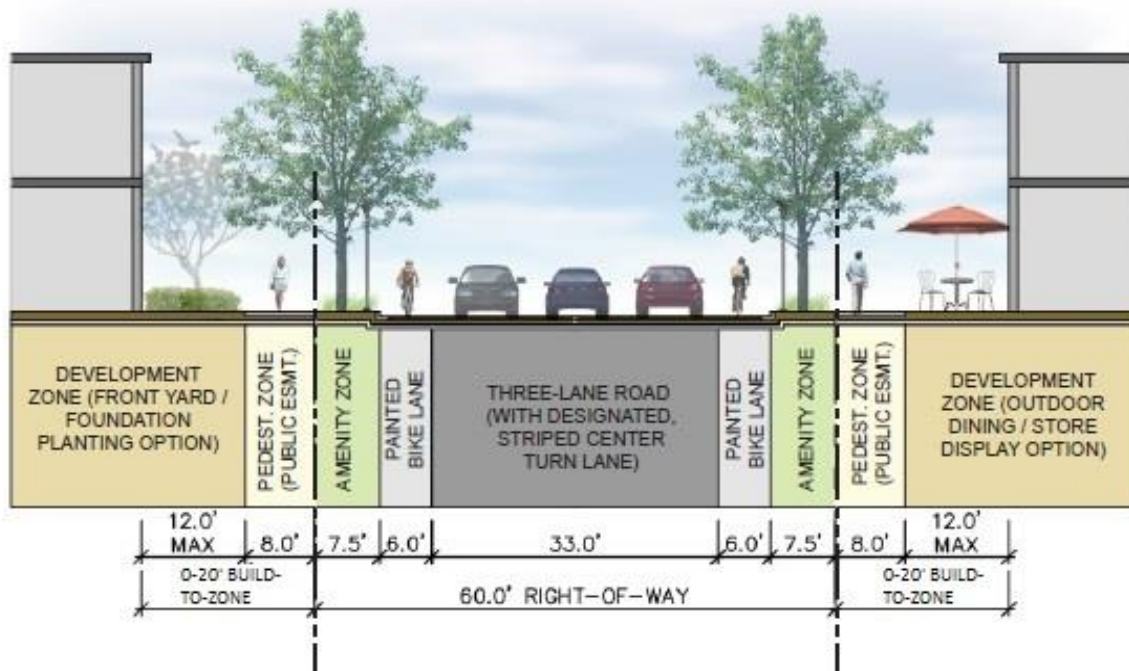
Within the Plan Area, State Farm Road and Deerfield Road are the primary streets and classified as “Avenues”. They are planned to create a sense of “place” for the district. Avenues accommodate high-quality pedestrian access, transit accessibility and bicycle facilities, such as bike lanes, as well as high volumes of traffic. Development along avenues may include a wide range of land uses, from commercial (retail or office), multifamily (apartments or condos), institutional (hospital or academic) to mixed use. Design standards for avenues include:

1. Posted speed limits up to 30 miles per hour allowing for safe and comfortable pedestrian travel along and across streets. Signalized intersections are to be specially designed for pedestrian crossings.
2. The existing right-of-ways of the district’s avenues are sixty (60) feet.
3. Avenue cross-sections include three (3) eleven (11) foot travel lanes, six (6) foot wide striped bike lanes (including 2’ gutter), seven and one-half (7.5) foot wide amenity zones - planting strips/street trees, pedestrian lighting, furnishings, etc., and eight (8) foot wide unobstructed sidewalks located outside the public right-of-way in a public sidewalk access easement.
4. Additional development pedestrian zones may be established outside the public sidewalk access easement and the building setback/ façade to function as extensions of the sidewalk for outside dining, store displays, etc.
5. Buildings shall be oriented toward the street.
6. Windows and doors shall front onto the street, with direct pedestrian access to the street front sidewalk.
7. Blank walls and non-transparent windows shall be avoided along pedestrian areas to help provide for pedestrian comfort, security and points of interest.
8. Parking shall be located to the rear or sides of buildings.
9. Transit routes/stops shall be located along Avenues. A dedicated street pull-off lane or transit loading space shall be planned for the safety of passengers boarding/alighting and minimizing vehicular congestion. Amenities such as shelters, seating, trash receptacles, lighting and signage shall be provided along the avenues.

Design Standards

Streets and the Public Realm Continued

Figure 4: Avenue Cross-Section (60' Right-of-Way)



Note: Alternative designs for Deerfield Road can include two travel lanes and a multi-use trail along the east side of the road.



Local Streets

Local Streets – Wide and Narrow:

(See Figure 5 and 6: Local Street Cross-sections-Wide and Narrow)

Local streets comprise the largest number of streets within the area and are arranged in a grid network for optimum interconnectivity and circulation. District local streets include Longvue Road, Doctors Drive, Kimberly Drive, Birch Street and Furman Road. Local streets provide for direct access to specific land uses or sites such as office, commercial,

and mixed use developments, through a variety of travel modes. Design standards for Local Streets include:

1. Posted speed limits of 25 miles per hour allowing for safe and comfortable pedestrian travel along and across streets.
2. District local street right-of-ways typographies are “wide” (60 feet) and “narrow” (40 feet).
3. Local Street – Wide (60’ right-of-way) cross-section includes two (2) twelve and one-half (12.5) foot shared vehicular/ bike travel lanes, an eight (8) foot wide on-street parking lane (one side), seven and one-half (7.5) foot amenity zones (planting strip, street trees and pedestrian lighting) and six (6) foot pedestrian walks.
4. Local Street – Narrow (40’ right-of-way) cross-section includes two (2) twelve and a half (12.5) foot shared vehicular/ bike travel lanes, seven and a half (7.5) foot wide grass/groundcover planting strip with pedestrian lights, six (6) foot wide sidewalks (shade trees should be planted outside of the public right-of-way and six (6) foot wide outside public right-of-way on public sidewalk access easements).
5. Buildings shall have entrances facing the street and sidewalks connecting the buildings to the street front sidewalks.
6. Cyclists are expected to operate in mixed traffic since the traffic volumes and speeds are low.
7. Blank walls and non-transparent windows shall be avoided along pedestrian areas to help provide for pedestrian comfort, security and points of interest.
8. Parking shall be located to the rear or sides of buildings. If parking is located between the street and the building, no more than one bay of parking is to be permitted to avoid large expanses of parking separating the building from the sidewalk.
9. On-street parking along a property’s frontage may count towards required parking.

Design Standards

Streets and the Public Realm Continued

Figure 5: Local Street Cross-Sections – Wide (60' Right-of-Way)

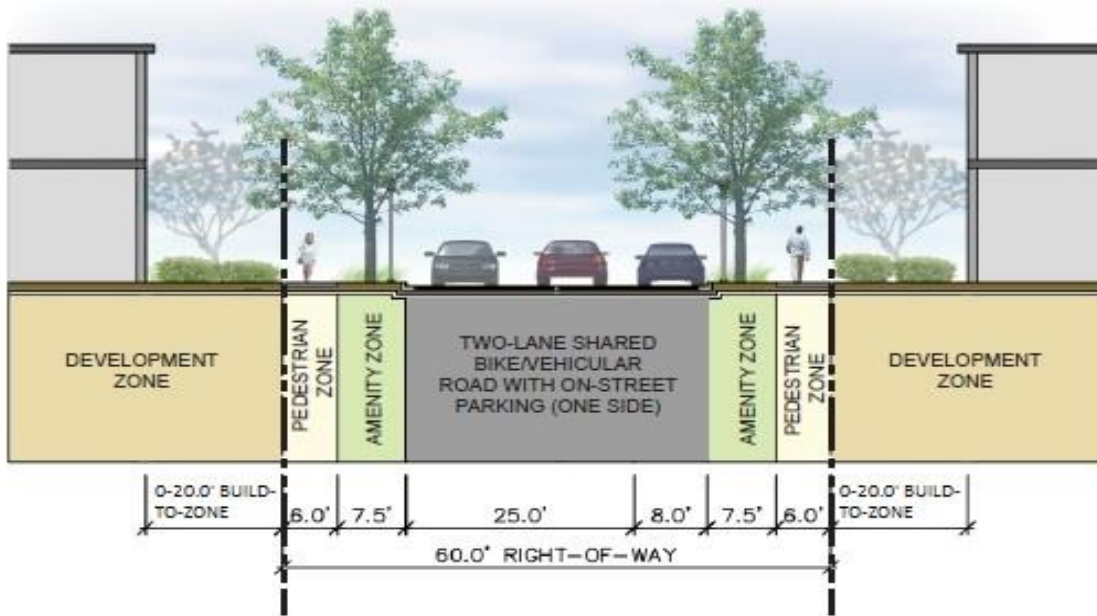


Figure 6: Local Street Cross-Sections- Narrow (40' Right-of-Way)





Thoroughfares

Thoroughfare/ Future Boulevard*

(See Figure 7: Thoroughfare/ Future Boulevard Cross Section)

US Highway 321/ Blowing Rock Road borders the Wellness District to the south. It is a busy, five-lane commercial thoroughfare connecting downtown Boone and Appalachian State University to the district and multiple destinations. This congested roadway is primarily vehicular oriented accommodating higher volumes and speeds of motorists with multiple driveway access points and commercial uses. Although the existing thoroughfare cross section includes pedestrian walks along both sides, it does not include a planting strip, street trees or bike lanes. Buildings are primarily sited away from the street with large expanses of parking between the building and the street.

Future design considerations will need to include the entire corridor, not just the section of US Highway 321/ Blowing Rock Road bordering the Wellness District, and be coordinated with North Carolina Department of Transportation.

To create a complete street boulevard reflecting the Town's character and safe multi-modal alternatives, the following design guidelines are recommended:

1. Posted speed limits of 35 miles per hour.
2. Maintain US Highway 321/ Blowing Rock Road existing right-of-way of one hundred (100) feet.
3. Install a landscaped median with controlled access points and turn lanes at strategic locations.
4. Create shared driveways and cross-access easements between parcels to minimize curb cuts and congestion.
5. Roadway cross-section to include sidewalks, street trees, bike lanes and transit stops along both sides of the street.

**Note: This section is shown only to demonstrate the Town's desire to work with NCDOT to improve the relationship between this major thoroughfare and the Wellness District.*

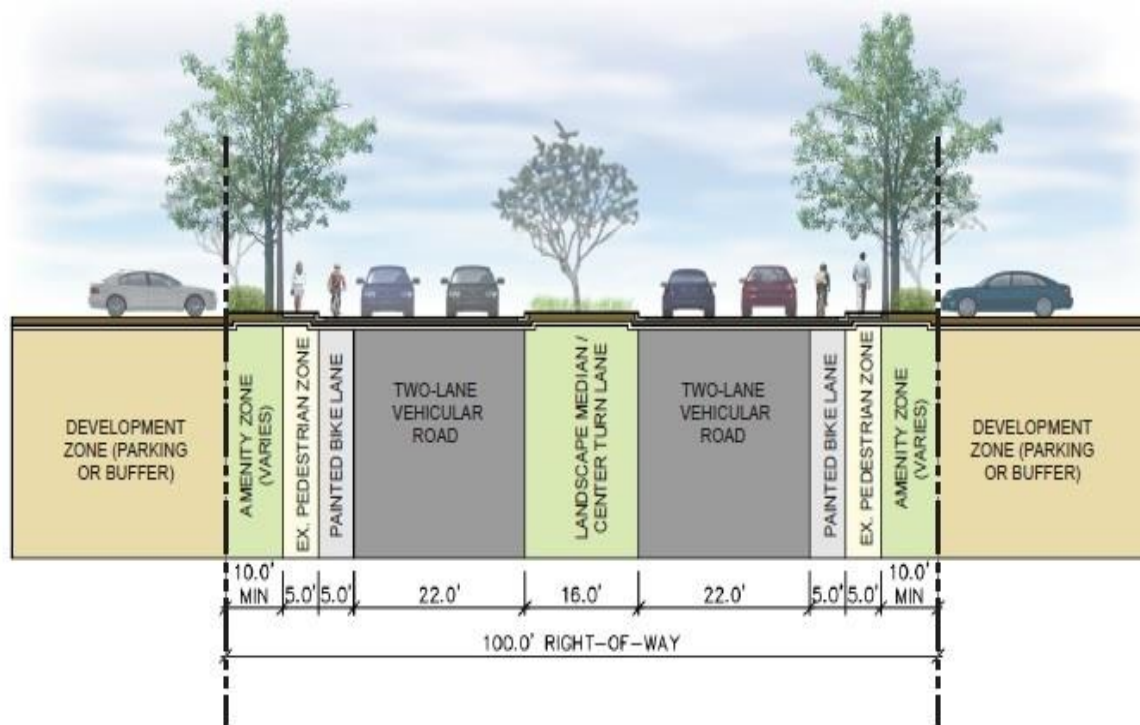
Minor Street:

Mary Street and Virginia Street are minor two lane roads whose sole purpose is to provide access to abutting single-family properties. Although access begins within the district, the streets serve three dwelling units with access to an additional eight residences along Johnson Street outside of the district. It is anticipated Watauga Medical Center and/or other future development may change the use of the properties and/or the alignment, interconnectedness and character of these streets, therefore no street recommendations are proposed at this time. Future developments should follow the design standards for district local streets.

Design Standards

Streets and the Public Realm Continued

Figure 7: Thoroughfare/ Future Boulevard Cross-Section





Gateways

District Gateways *(See Gateway Images)*

Gateway locations provide opportunities to highlight transitions and entrance features into the district. The transition can be accentuated with elements in the public right-of-way, adjacent buildings or structures, or a combination of both. Other components such as entry signage, columns, lighting, banners, public art, sidewalk markers or landscaping can be used to further emphasize gateway locations. Distinctive logos and colors may be used to identify the district and create a sense of place.

Potential locations for the Wellness District gateways are the intersection of Deerfield Road and US Highway 321, Deerfield Road and the bridge crossing of the Middle South Fork New River, and State Farm Road bridge crossing at Winklers Creek.

Design Standards

Streets and the Public Realm Continued

Intersections and Crosswalks

(See Figure 1, pg 15: Street Hierarchy)

Intersections (See Intersection Images)

Intersection design shall accommodate all modes of transportation with the appropriate levels of service for pedestrians, bicyclist, transit and motorist given the recommended speed, volume and expected mix of traffic while minimizing conflicts between user modes through various methods.

Signalized intersections shall be specially designed for pedestrian crossings. Intersections shall provide for ten (10) foot by seventy (70) foot sight distance triangles free from obstructions that may impede user visibility. Intersections of importance are to be distinguished and promote traffic calming with differing pavement materials and/or colors. These focal intersections are located along Deerfield and State Farm Roads at intersections with adjoining streets.

*To promote safe and efficient multi-modal transportation system, it is recommended Watauga Medical Center align their site access drives with the existing street network intersections and signals.

Crosswalks (See Crosswalk Images)

Crosswalks shall be a minimum of six (6) feet to a maximum of eight (8) feet wide (dependent on the designated street hierarchy) on all approaches at each intersection. All pedestrian crosswalks shall be distinguished from driving surfaces through the use of alternative material/ color differing from that used on the roadways such as concrete/ brick pavers or scored broom finished integral color concrete pavement.

Appropriate mid-block crossings should be planned along Deerfield and State Farm Roads to assist in pedestrian movements.



Intersections



Crosswalks



Streetscape / Street Planting

Streetscape Standards

To accommodate the required amenity zone (pedestrian lights, street furnishings, street trees, etc.) and pedestrian walks, the following minimum streetscape widths are required. These standards apply regardless of the available public right-of-way. Where insufficient right-of-way exists, the pedestrian way shall extend onto private property, with a public sidewalk easement. The streetscape shall be measured from the back of curb to the outside edge of the pedestrian walks (closest to the building façade).

Planting Strip/ Street Trees (See Streetscape/Street Planting Images)

Public and private development shall provide a seven and one-half (7.5) foot wide amenity zone - planting strip/ street light and furnishings on both sides of the street (except Local Streets) to safely separate pedestrians from vehicles and include street trees, turf/groundcover and/or low growing shrubs. Street trees shall be large deciduous species planted forty (40) to sixty (60) feet on center, coordinated with the street lighting plan and measure three (3) inches or greater in caliper at the time of planting. Lower branches of the street trees shall be limbed up to eight (8) feet to allow clearance for pedestrians.

All new development shall locate utilities underground to prevent interference with street trees. In instances where existing overhead utilities are present along the street frontage and utilities cannot be relocated underground, alternate compliance ornamental trees (2" minimum caliper) may be installed twenty (20) to thirty (30) feet on center with approval of the Administrator. Street tree species shall be consistent along each street and conform to the applicable streetscape planting schedule on following page.

The Town should work with utility providers to relocate utilities underground throughout the Plan Area. Moving utilities underground will provide better aesthetics more in keeping with the Plan objectives

Streetscape Standards (cont.)

Street Tree Planting Schedule *(See Tree Images)*

<u>Street Tree</u>	<u>Species</u>	<u>District Street</u>
'Allee' Lacebark Elm	<i>Ulmus parvifolia</i> 'Allee'	Deerfield Road
'Hightower' Willow Oak	<i>Quercus phellos</i> 'QPSTA'	State Farm Road/ Longvue Road
Bald Cypress	<i>Taxodium distichum</i>	Furman Road
'October Glory' Red Maple	<i>Acer rubrum</i> 'October Glory'	Doctors Drive/ Kimberly Drive
'Panache' Shumard Oak	<i>Quercus shumardii</i> 'QSFTC'	Birch Street

*Alternate Compliance Ornamental Trees

(for use only with existing overhead utilities with approval from Town Staff)

<u>Tree</u>	<u>Species</u>
'Forest Pansy' Redbud	<i>Ceris Canadensis</i> 'Forest Pansy'
'Kwanzan' Cherry	<i>Prunus serrulata</i> 'Kwanzan'
Kousa Dogwood	<i>Cornus kousa</i>

The remainder of the planting strip shall be planted with low growing shrubs, ornamental grasses, ground cover, turf or combination thereof as listed in the Town of Boone's approved plant list. Turf grass must be installed as sod and not seeded.



'Allee' Lacebark Elm



'Hightower' Willow Oak



'Panache' Shumard Oak



'October Glory' Red Maple



Street Lights

Streetscape Standards (cont.)

Street Lights (See *Street Light Images*)

Street lighting shall provide adequate illumination to ensure the safety of pedestrians and visibility for motorists. The primary source of street lights should be pedestrian scaled fixtures (15-18' ht.) with roadway lighting (25' ht. max.) for additional illumination at intersections and specified intervals, as needed. All street lights shall be LED full cut-off (FCO) fixtures (Dark Sky Compliant) to reduce energy usage and light pollution. Wood poles are prohibited. To establish the character of the district, light fixtures should be a consistent style throughout the Plan area and utilize a black finish.

New public and private development shall provide pedestrian lights within the street side amenity zone - planting strip/ street light/ furniture on both sides of the street.

Pedestrian lights shall be located approximately at the midpoint between trees and spaced forty (40) to sixty (60) feet apart per the photometrics of the specified light fixture. Light locations may be adjusted to accommodate existing mature trees, curb cuts, fire hydrants and other infrastructure elements.

Streetscape Standards (cont.)

Street Furnishings (See *Street Furnishings Images*)

Along Avenues, bike racks, trash receptacles and seating should be incorporated into the streetscape design on streets within the amenity zone - planting strip/ street light/ furnishings. Style of the street furnishings is to be consistent throughout the district and have a black finish. Furnishings should be durable, attractive and sustainable materials that are easy to maintain.

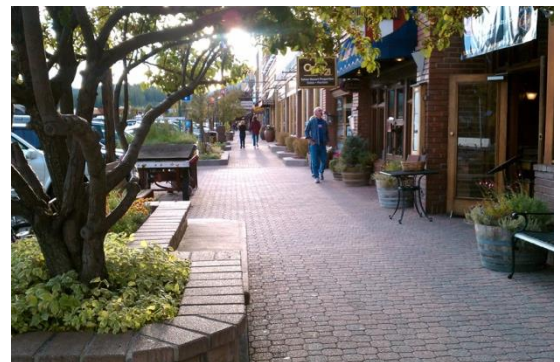
Transit stops/areas are to be located in areas of high level pedestrian activity along avenues. Shelters are to reflect design excellence and should be designed as more than utilitarian fixtures. Creative and timeless designs that complement other streetscape furnishings are encouraged.

Pedestrian Walks (See *Pedestrian Walk Images*)

Walks are to be parallel to public streets and the building frontages along both sides of the public street. Walks are to be six (6) to eight (8) feet wide (dependent on the designated street hierarchy) behind a seven and one-half (7.5) foot wide amenity zone/planting strip. Paving materials such as concrete/ brick pavers or scored broom-finished integral-color concrete shall be attractive, easy to maintain and meet the Town's sidewalk requirements and ADA Standards.



Street Furnishings



Pedestrian Walk



Greenway Trail

Greenway Trails

(See Figure 8 - Greenway Trail Map & Images)

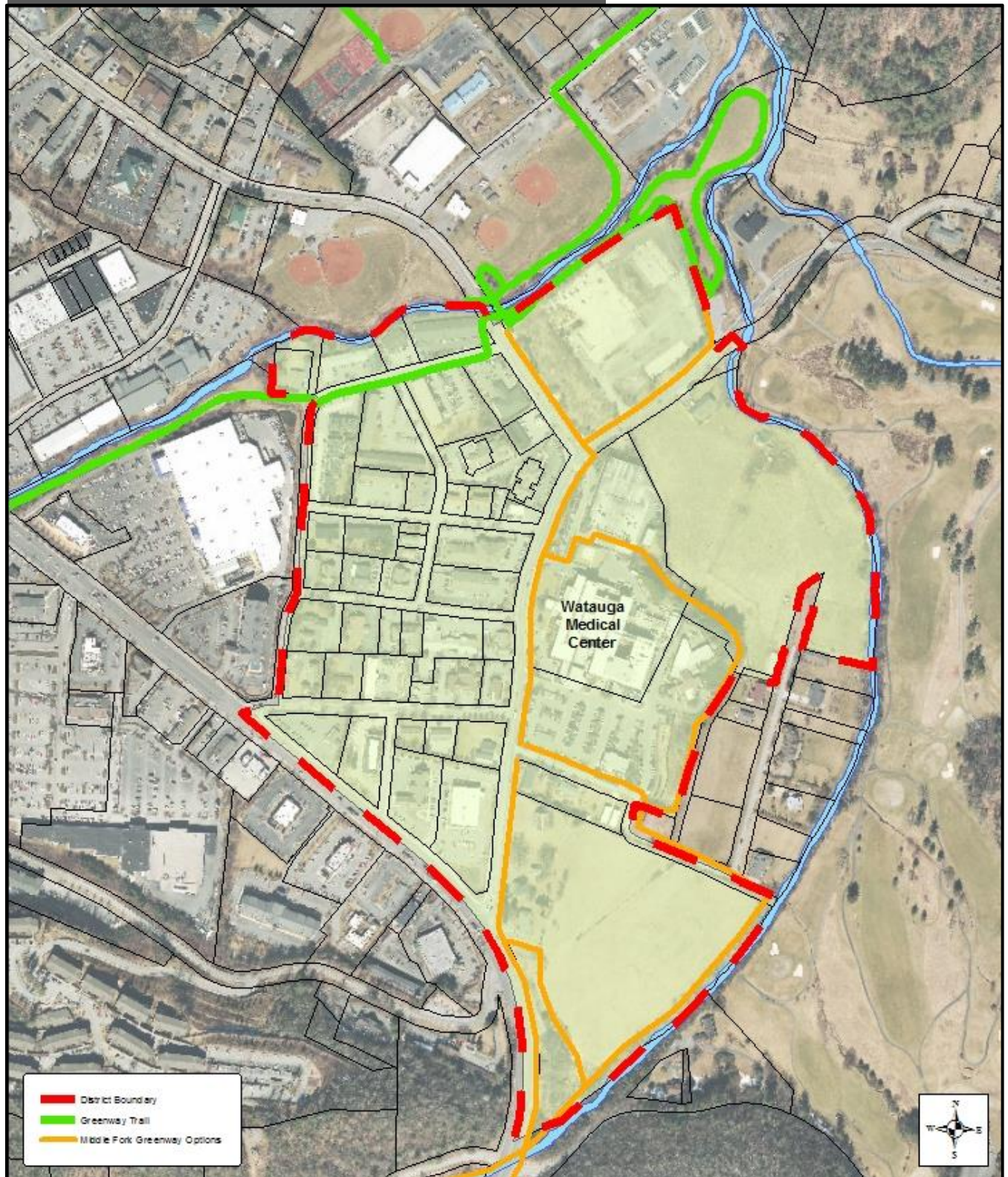
Boone has an extensive network of greenway trails providing multi-modal means of access throughout the Town and connection to the district.

Currently the Greenway trails follow the South Fork of the New River and Winklers Creek. Access to the trails can be made through an existing park/ trail head with parking located off Deerfield Road in the northern part of the district. Additional access to the greenway can be made along Winklers Creek at State Farm Road and Furman Road.

The proposed Middle Fork Greenway will connect to the Town's greenway trail following possible routes through the district beginning at the Town's corporate limits to the south of the district.

Proposed pedestrian walks are to connect to the trails providing additional means of multi-modal transportation to the district. Greenways are encouraged to expand and to link the district with Appalachian State University and downtown Boone.

Figure 8: Town of Boone Greenway Trail Map



Communication: Wellness District Small Area Plan (Wellness District - Development Standards)



Open / Public Space

Open/ Public Spaces

(See Open/Public Spaces Images)

Open/ public spaces should be incorporated into the overall design of the development. A variety of public spaces ranging from urban plazas and courtyards to more passive open spaces are to be incorporated per the following guidelines:

1. Public space design should be human-scale and visually interesting.
2. Public spaces are to be clearly visible and easily accessible. Maximize sight lines into and out of the space.
3. Public spaces are to incorporate space-defining and active edges, such as multi-story facades with ground floor restaurants and shops.
4. Public spaces are to plan for prevailing sun angles and climatic conditions.
5. Public spaces are to provide seating in the forms of benches, tables and chairs and/or low seat walls.
6. Public spaces are to incorporate features that attract users, such as fountains, public display areas or interactive sculpture.
7. Public spaces are to incorporate landscaping to provide natural shade and/or soften hardscape areas.
8. The open/public spaces may include:
 - Plazas, courtyards, parks, gardens.
 - Gazebos, pavilions, pergolas, amphitheaters and other open air shelters.
 - Park open space and passive recreation features.
 - Bicycle and pedestrian greenway trails and bridges.
 - Healing gardens, memorial gardens, and sensory gardens

Public Art

(See Public Art Images)

Public art has the ability to identify a district, contribute to a design theme and enhance a development's appeal and value. It can encourage pedestrian travel by adding interest to the route and create community identity. Where feasible, the Town, ASU Watauga Medical Center and developers are encouraged to integrate art into the design process for buildings and public spaces.



Public Art



Building Orientation Images

Building Orientation

(See Building Orientation Images)

Buildings and their principal entry points, should be oriented toward the public street with the primary façade, architectural elements and entrances clearly identifiable and directly accessible. Corner buildings with ground floor retail are encouraged to locate entrances facing the corner.

Building Siting

Build-to-lines in the Wellness District are 0-foot minimum/ 20-foot maximum from the edge of the public space. Additional development pedestrian zones may be established outside of the public right-of-way/ sidewalk and the building façade to function as extensions of the sidewalk for outside dining, store displays, etc. There are no transitional setbacks within the Wellness District.

Contextual Setback

1. Parking between the public right-of-way and the building is strongly discouraged. In cases where parking is permitted between the street and the building (Local Streets only), no more than one bay of parking is to be permitted to avoid large expanses of parking separating the building from the sidewalk.
2. Buildings or portions of building facades fronting public spaces, plazas, courtyards, etc. may exceed the maximum build-to-line.
3. If the required public walkway encroaches onto private property, the build-to-zone may be measured from the walkway edge.
4. Buildings along the public rights-of-way shall be a minimum of 60% of the primary property frontage.
5. Side and rear setbacks shall be based on minimum fire separation required between buildings.

Design Standards

Building Height and Scale

Building Height

The form of the streetscape and public realm is defined by the building edges. Multi-storied buildings are consistent with the urban character of mixed uses and are essential in achieving economic, social and cultural sustainability.

The building height should be measured by the number of stories from the first floor (defined as the street level floor), not including raised basements/ finished floors, equipment penthouses or building parapets. Corner buildings may exceed the maximum building height by 15% for 20% of the building frontage along each corresponding street. Minimum building height shall be 2-stories; maximum building height 6 stories.

Building Scale

Building scale is one of the most important considerations when developing a pedestrian oriented neighborhood.

To promote the human-scale of the public realm and pedestrian environment of the streetscape, buildings greater than four (4) stories must adhere to at least one of the following design standards:

1. Building planes extending above four (4) stories shall be less than 50% of the total building facade along the street (See Figure 9, *Building Scale Above 4 Stories*), **and/or**
2. Buildings greater than four (4) stories shall step back the building plane at a 1:1 ratio along the street façade. For every foot above the maximum permitted building height, the building plane may extend upward one foot for every additional foot setback (See Figure 10, *Building Setback Above 4 Stories*).

Figure 9: Building Scale Above 4 Stories

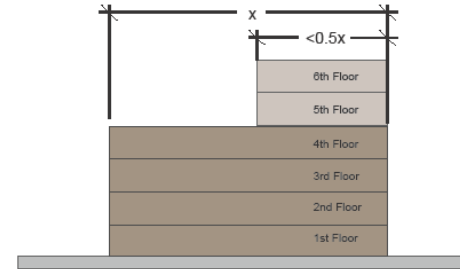
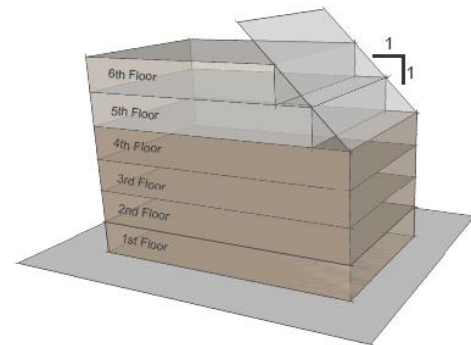


Figure 10: Building Setback Above 4 Stories





Building Facades

The Architectural Standards are intended to be flexible, allowing for creativity while maintaining design compatibility and continuity within the entire development. The standards describe the desired quality of the development to promote compatibility and unity in the development's visual appearance. The Appearance Commission shall review architectural plans for conformity to the Wellness District Design Standards.

Facades

(See Building Facade images)

Building facades facing a publically accessible street or other public space shall incorporate the following design standards:

Facade Variation

1. Buildings should have architectural features and patterns that provide visual interest while supporting a clear and unified image throughout the development and include:
2. Front building facades that are constructed parallel to the street frontage.
3. All sides of the buildings visible from public right-of-way shall be treated with the same design and materials as the front façade.
4. Purposeful variation or accents in materials, textures and colors are strongly encouraged.
5. Horizontal and vertical divisions such as banding and repetitive window patterns are strongly encouraged.
6. Facades shall include clear delineation between the first or second level and the upper levels with a cornice, canopy, awning, balcony, arcade or other architectural feature.
7. The mass of the building shall be reduced by changing building planes through offsets and recesses, changing the building heights and varying the parapet or roof heights.
8. The building façade shall have perceivable, repetitive features and patterns such as windows, columns or other vertical features.
9. The building shall avoid long and monotonous wall and roof planes. Windows and doors are to front onto the street, with direct pedestrian access to the street front sidewalk.
10. Blank walls and non-transparent windows are prohibited along pedestrian areas to help provide for pedestrian comfort, security and points of interest.
11. For large projects, each sequential block of new construction shall contain unique building facades so as to encourage architectural variety within large projects. While the use of similar architectural elements on multiple buildings is acceptable, large visually monotonous projects with repeating exterior building design(s) does not contribute to visual diversity and human-scale character and therefore is inappropriate.

Architectural Design Standards Continued

Building Materials

Building materials and colors shall be in harmony with the rest of the development to create a sense of place and attraction with the surrounding community. The following design standards apply to all structures, including parking decks, in the district.

1. Exterior building materials for new construction shall be similar and compatible in size, scale, color and finish to surrounding developments.
2. Permitted primary exterior building materials include brick, natural stone, cast stone, tile, glazed curtain wall and window wall systems, architectural precast concrete and architectural-grade metal panels (galvanized, painted or ornamental).
3. All other materials shall be a compliment or an accent application not to exceed 10% of building facade.
4. Predominant exterior building materials should not include EIFS (Exterior Insulation and Finish System), plaster, or CMU (Concrete Masonry Units).
5. Vinyl or aluminum siding and colored or mirrored/ reflective glass is prohibited.
6. Colors of subtle, native, neutral or earth tone materials are encouraged and meet the Town of Boone Color Palette.
7. Building accent colors should complement the primary materials used on the building.
8. Corporate branding colors are permitted on logos and signage.
9. The use of clear or lightly tinted colored glass (30% maximum tint) is required.
10. Large uninterrupted expanses of a single material are prohibited.

Fenestration

Fenestrations (windows and doors) should maximize the views and allowable daylight into spaces.

1. For all ground floor uses located along publically accessible streets and other public spaces, 60-90% of all wall area between two (2) and twelve (12) feet shall consist of transparent glazing (clear windows and doors). Upper floors fronting public rights-of-way shall consist of 30-70% windows.
2. Fenestrations shall be spaced thirty (30) linear feet maximum between features.
3. Ground floor restaurants, cafes and bars are encouraged to provide windows and doors that can be opened to provide direct access to the sidewalk when weather permits.



Building Materials



Pedestrian Entrances



Roof Design

Pedestrian Entrances

(See Pedestrian Entrance images)

Except for medical clinic facilities, entrances shall be oriented towards the street, clearly defined and highly visible with sidewalks connecting to the street pedestrian walkways.

1. For buildings fronting public spaces, a pedestrian entrance shall be oriented to and accessible from the public space.
2. Retail uses with exterior ground level visibility along a street or public space shall have individual public entries from the street or public space in addition to internal enteries.
3. Ground floor retail uses located on building corners shall locate entrances at the corner.
4. Buildings adjacent to existing or planned trails, open spaces or parks shall provide public entries along the façade fronting these amenities.
5. Entrances shall provide shelter from inclement weather.

Roofs

(See Roof images)

Roof lines should have visual interest and features complementing the overall character of the building and the development.

1. Rooftop penthouse enclosures should be architecturally compatible or predominantly of the same material as the building.
2. Single-sloped shed roofs, mansard or vaulted roofs are prohibited. Flat roofs shall be concealed from pedestrian view.
3. Publically visible roof materials shall be standing seam metal, asphalt shingles, shakes or tile.
4. Publically visible plumbing vent stacks shall be colored to match the roofing material.
5. "Green" roofs utilizing plants to absorb rainwater and reduce ambient air temperatures are strongly encouraged.
6. Rooftop amenities such as sun decks are encouraged.

Utilities, Mechanical/ Service Equipment & Dumpster Screening

Utilities

All pipes, conduit, cable lines or equipment for the transmission of electricity, telephone, water, gas, sewage, drainage, steam or any other utility, energy or communication service shall be installed underground in accordance with the Town of Boone requirements. Above ground connections to buildings shall not be allowed.

Mechanical/ Service Equipment & Dumpster Screening

(See Dumpster Screening Images)

All properties shall minimize the visual impact of mechanical/ service equipment and solid waste facilities from the public right-of-way.

1. Service areas, storage areas, restaurant grease receptacles and refuse enclosures should be oriented away from public view and screened from public areas.
2. Service and refuse areas are encouraged to be clustered together where feasible at the rear of the building.
3. Dumpsters, recycling bins and all other waste storage or containers, other than streetscape and site furnishing trash receptacles, shall be designed into a structure or building, or shall be screened by an opaque enclosed structure (8' minimum height with self-closing access doors) compatible with the building architecture from adjacent streets. Additional landscape plantings compatible with the overall landscape plan shall be required outside of the enclosures to soften the appearance from public view.
4. Utility cabinets and pedestals should not be located within parking lot landscape islands or the public right-of-way where they cannot be screened, are exposed to damage from vehicles and/or present a hazardous visual obstruction to drivers or pedestrians.
5. Meter boxes shall not be located along the front of buildings and screened if located on the side of a building.
6. Ground level mechanical equipment shall be screened by a structure that complements the design of the building through the use of similar materials, colors, finishes and architectural details. Additional landscape plantings compatible with the overall landscape plan shall be required outside of the structure to soften the appearance from public view.
7. All rooftop mechanical equipment should be screened from view from adjacent properties and adjacent right-of-way by use of parapet walls or screens designed to be compatible with the building architecture.
8. Elevator penthouses shall be screened by a structure that complements the design of the building through the use of similar materials, colors, finishes and architectural details.



Dumpster Screening

Design Standards

Site Design Standards

Site design shall respond to the existing natural and constructed environment of the site and surrounding area. Individual site design should complement the overall development, adjacent properties and Wellness District Design Standards.

Driveways and Access

1. Site access drives shall be consolidated and located across from intersections, where feasible, for safety of motorists and pedestrians.
2. The distance between driveways shall be designed for adequate turning movements and storage to reduce unsafe conflicts and congestions.
3. To ensure safe movement of vehicles and pedestrians, a ten (10) foot by seventy (70) foot sight distance triangle shall be provided at all intersections of driveways with adjacent streets.
4. Sites are to provide cross access easements between properties for circulation.
5. Driveways along Avenues are to be limited with access to properties along side streets and/or combined with adjacent properties.
6. Driveway crossings should maintain the same elevation of the sidewalk. The appearance of the sidewalk (scoring pattern or special paving) should be maintained across the driveway to indicate that although a vehicle may cross, the area traversed by a vehicle remains part of the pedestrian travel way.

**To promote a safe and efficient multi-modal transportation system, it is recommended that Watauga Medical Center align their site access drives with the existing street network intersections and signals.*

Vehicular Requirements

Adequate vehicular and bicycle parking requirements for the district, except for educational uses, are listed in Article 24 of the Town of Boone, Unified Development Ordinance. Parking requirements for education buildings are listed on the below. All parking serving the site and counted toward minimum parking requirements shall be located on the site or within 1,200 feet of the building entrance if located off-site. Parking for the disabled shall be provided in accordance with the North Carolina State Accessibility Code.

Wellness District Education Use Parking Requirements:

- Instructional Labs / Classrooms: 4 spaces/classroom
- Lecture Halls: 1 space/3 seats

Vehicular Requirements Continued

Parking Reductions

(See Allowances for Parking Reduction Images) To promote a pedestrian-oriented, human-scale, urban form and multi-modal access, parking reductions are encouraged. Car sharing, car pooling, and van pools are encouraged to reduce the demand for parking spaces. The permit issuing authority may adjust the minimum/maximum number of parking spaces required when one or more of the following is applicable:

1. The Planning Administrator may approve parking reductions for live-work developments or residential units specifically designated for Wellness District business.
2. A 10% reduction in the number of required parking spaces for businesses oriented to pedestrian traffic.
3. A 10% reduction in the number of required parking spaces for developments located adjacent to a public greenway system with pedestrian/ bike linkages and designated bicycle parking areas. The number of required short-term and long-term bicycle parking spaces shall be determined by the Town of Boone, UDO, Article 24.09.
4. A 20% reduction in the number of required parking spaces is permitted for developments located along a public transit line with designated transit stops located within a walking distance of 1,320 feet and operating service from 6:00 AM to 6:00 PM where service intervals are no longer than 15 minutes during peak commute hours.
5. To limit the amount of impervious surfaces dedicated to parking on each lot, shared parking is encouraged. A shared parking analysis prepared by a registered licensed professional transportation engineer in North Carolina using the Urban Land Institute (ULI) Shared Parking Model (latest edition) or a study showing excessive, unused parking by one owner to be shared with another owner must be submitted. A written agreement between property owners acknowledging the number of shared parking spaces must be submitted and agreed to by the permit issuing authority.
6. A parking study, prepared by a licensed professional engineer, illustrating the required parking ratios do not accurately apply to a specific development.
7. If the number of required off-street parking spaces cannot be reasonably provided on the property associated with the principal use, then spaces may be provided on adjacent or nearby lots, satellite parking lots may be located up to a half-mile (0.5 mi) from the principal use building if served by a transit line, shuttle, or located along a dedicated pedestrian sidewalk or greenway trail. Written permission from the owner/person responsible for the satellite parking spaces must be provided. The applicant shall provide written acknowledgement that continuing the validity of his permit depends on his continuing ability to provide the requisite number of parking spaces.





Surface Parking



Parking Structures

Vehicular Requirements Continued

Surface Parking Lots

(See Surface Parking Images)

1. Surface parking shall be located primarily to the rear or sides of the building.
2. If parking is located between the streets and the building, no more than one bay of parking is to be permitted to avoid large expanses of parking separating the building from the sidewalk / street.
3. Parking bays fronting a local street shall be separated from the sidewalk/ right-of-way with a ten (10) foot minimum streetyard consisting of a minimum three (3) foot height screen, except where vehicular sight lines may be impaired. Screening should consist of one or more of the following:
 - a. A masonry wall (3' minimum/ 4' maximum height) compatible with the proposed building.
 - b. An undulating earthen berm and landscaping not to exceed a slope of 3:1.
 - c. A hedge row of evergreen shrubs (3' minimum/ 4' maximum height), shade trees and groundcover.
4. To break up large expanses of parking and provide shading, landscape islands are required so that no parking space is more than fifty (50) feet away from the trunk of a large shade tree.

Parking Structures

(See Parking Structure Images)

Parking structures are strongly encouraged to consolidate parking, encourage walking and better utilization of the land.

1. Parking structures are encouraged to be located at the interior of a block or under buildings, not visible from the public right-of-way. Ground floor commercial uses, or space adaptable for future commercial use, are encouraged to be integrated into the structure located along the public street.
2. Parking structures shall not have exposed structured parking at the ground floor level along street frontages.
3. If parking structures are located along the public right-of-way, building setbacks, scale, height requirements and architectural design standards are applicable with trees and foundation plantings installed to soften the parking structure façade.
4. Parking structures should be designed so ramps are hidden from view of the street or public right-of-way.

Structures should be constructed of the same building materials as the district buildings.

Vehicular Requirements Continued

Drive-Through Facilities/ Stacking Spaces

(See Drive-through Screening Images)

Conventional drive-through uses do not support a pedestrian-oriented environment and are inconsistent with the urban redevelopment goals for the Wellness District. Although drive-through facilities are discouraged, the following design standards shall apply to non- restaurant drive-through uses approved by the Planning Commission:

1. Drive-through and stacking lanes shall not be located within the front setback or along facades facing a public street. Drive-through and pick up windows shall be placed to the side or rear of buildings and screened.
2. Architectural elements, landscaping and/or other screening elements shall be used to minimize the visual impacts of the drive-through facility.
3. Screening shall be a minimum four (4) foot height wall compatible with the building architecture, material, color and details or a continuous compact evergreen hedge (36" minimum height at the time of planting reaching 48" minimum height within three years).
4. The design and location of the facility shall not impede vehicular flow or pedestrian movement and safety.
5. Canopy materials, design and color shall be the same as the primary building.

Loading/ Unloading Areas

(See Loading Area Screening Images)

With the exception of areas specifically designated by the Town, loading and unloading activities are not permitted in the public right-of-way and shall meet the following design standards:

1. All loading/unloading areas shall be located to the side or rear of buildings and shall be screened from public view.
2. Screening shall be provided with a wall (8' height) matching the building architecture, materials and color. Additional landscape plantings compatible with the overall landscape plan shall be required outside of the enclosures to soften the appearance from public view.

Loading and unloading activities may not encroach on or interfere with the use of sidewalks, drive aisles, stacking spaces or parking areas.



Drive-through Screening



Loading Area Screening



Accessible Ramp



Site Furnishings

Pedestrian Walks & Accessibility

(See Accessible Ramp Images)

Pedestrian walks shall be provided along the length of any façade internal to the site where parking or a driveway is provided.

1. Pedestrian walks shall be parallel to and a minimum of five (5) feet from the building in order to provide an area for foundation plantings and entranceway landscaping.
2. Pedestrian circulation should be provided between abutting properties through the use of walkways or identifiable pathways.
3. Pedestrian walks should be clearly distinguished from vehicular paths by landscaping, paving materials or architectural elements.
4. An accessible route leading to the main entry of a building, curb cuts and ramps must be provided throughout the site and meet the 2009 NCBC Chapter 11 - Accessibility and 2003 Edition of ICC/ANSI A117.1 requirements.

Site Furnishings

(See Site Furnishings images)

To promote the pedestrian environment and sense of place, site furnishings such as benches, tables and chairs, trash receptacles, planters, bicycle racks and ornamental fencing should be incorporated into the development.

Seating, Trash Receptacles and Planters

To promote the pedestrian environment and enhance human scale the use of site furnishings is strongly encouraged.

1. Furnishings should be the same style, material, and color and complement the architecture of the site.
2. Furnishings should be durable, attractive and sustainable materials easy to maintain.
3. Furnishings are typically located near building entrances, outdoor dining areas, plazas, courtyards, shelters and gardens

Site Furnishings (cont.)

Bicycle Facilities

Bicycle parking is required to encourage the use of bicycles for personal transportation and access to employment, retail and other destinations.

1. Short-term bicycle parking should be located less than one hundred (100) feet of the building entrance(s). Long-term bicycle parking shall be located in a covered, weather protected areas no more than three hundred (300) feet from the building entrance or within an on-site parking structure.
2. Bicycle racks shall be securely anchored, easy to fasten to and support a bicycle at two (2) points of contact to prevent damage to the bicycle wheels and frame.
3. Designated bicycle parking shall provide clear and maneuverable access and visibility with appropriate signage.
4. The number of required short-term and long-term bicycle parking spaces shall be determined by the Town of Boone, UDO, Article 24.09.

Fencing

1. Ornamental fencing may be used to enhance the pedestrian environment with the following guidelines:
2. Conventional gated complexes with perimeter security fencing along public streets are prohibited.
3. Fencing may not extend beyond the building facade along public streets, walks, easements or publically accessible open space.
4. Where permitted, maximum fence height shall not exceed six (6) feet.
5. A front yard ornamental fence and/or railing, not exceeding forty-two (42) inches in height, may exceed beyond the building façade if the fence encloses a private patio or outdoor dining area. The fence is not permitted to encroach on a required pedestrian walkway.
6. Ornamental fencing shall be constructed of high quality materials including wrought iron, aluminum, metal, PVC vinyl or other material approved by the Planning Director.
7. Chain link fencing with and without wood slats is prohibited.



Bike Racks



Ornamental Fencing



Site Lighting

Site Lighting

(See Site Lighting images)

Parking areas, sidewalks and building entrances shall be lighted in order to contribute to the security of the property and facilitate safe passage of pedestrians and vehicles after dark.

1. All light fixtures, including wall packs, shall be Dark-Sky Compliant LED full cut-off (FCO) fixtures to reduce energy usage, light pollution and prevent glare for pedestrians, motorists, tenants and adjacent properties. Flood lights shall be aimed down at least
2. 45 degrees or the front of the light shielded so that no portion of the light source extends below the bottom of the shield.
3. Lighting shall be designed and located so the maximum illumination measured shall not exceed one half (.5) foot-candle at the property line and two (2.0) foot-candles measured at the right-of-way line of a street.
4. A lighting photometric plan with point-by-point foot-candle array measured horizontally at grade and a description/cut sheet of proposed fixtures, lamps, reflectors and poles shall be submitted for all site lighting permits. The plan shall provide for uniform site lighting to avoid hot spots and/ or unsafe low light levels.
5. Light fixtures within parking areas shall be twenty-five (25) feet maximum height. Pedestrian light fixtures shall be located along pedestrian walks and within thirty (30) feet of a building with a maximum height of eighteen (18) feet.
6. Lighting under vehicular canopies shall be less than ten (10) foot-candles and designed to prevent off-site glare.
7. Service connections for all site lighting fixtures shall be installed underground.
8. Cobra-head type fixtures, flickering, rotating, flashing, strobing or search lights and wood poles are prohibited.
9. Exemptions: Lighting of the United States of America or State of North Carolina flags, public monuments, architectural accent features, landscaping, art and holiday lightings may be directed upward, provided the fixture is located, aimed or shielded to prevent glare and minimize light spill into the night sky

Design Standards

Site Design Standards Continued

Landscaping

(See Site Landscaping images)

Landscaping promotes sustainable development, minimizing negative impacts on natural resources and is vital to softening the harshness of paved areas and buildings while enhancing a sense of place. Landscape standards listed in Article 31 of the Town of Boone, Unified Development Ordinance shall apply.

1. All plant material shall be nursery grown stock, free of disease or growth problems and shall comply with the latest edition of the American Standards for Nursery Stock, published by the American Nurserymen's Association.
2. Plant material shall be locally adaptable species and hardy to Zone 6 in accordance with the US Department of Agriculture's Plant Hardiness Zone Map.
3. Plant material must be able to survive on natural rainfall once established with no loss of health.
4. Landscaping shall not obstruct the views of motorists using any street, driveway or parking aisle and comply with the ten (10) foot by seventy (70) foot sight distance triangle.
5. All plants fulfilling the landscape requirements shall meet the minimum installation sizes. Large deciduous shade trees shall be a minimum three (3) inch caliper; ornamental trees shall be a minimum of two (2) inch caliper, evergreen trees shall be a minimum of eight (8) feet height and shrubs shall be a minimum of twenty-four (24) inches height/spread at the time of planting.
6. All planting areas shall be covered with three (3) inches of mulch to reduce weeds and retain moisture for the plants.
7. Necessary pruning and trimming shall be in accordance with the current edition of "Tree, Shrub and Other Woody Plant Maintenance – Standard Practices" of the American National Standards Institute and shall not be interpreted to include topping of trees through the removal of crown material or the central leader that cause irreparable harm to the natural form of the tree. Any such activity shall require replacement of the damaged plant material.
8. Xeriscaping or water conservation landscaping is encouraged. The practice of xeriscaping may include limiting the size of lawn areas, use of native grasses, low-water need plants, and the addition of soil amendments, mulching and installation of efficient irrigation (drip) systems.



Communication: Wellness District Small Area Plan (Wellness District - Development Standards)



Front Yard / Foundation Planting

Landscaping (cont.)

Front Yard/ Foundation Plantings

(See Front Yard/Foundation Planting Images)

A front yard consists of a landscape area parallel to the public right-of-way, typically between the sidewalk and the development, designed to provide continuity of vegetation along the public realm and soften the impact of the development by providing a pleasing view from the street. Although no front yard setback is required (0' minimum, 20' maximum build-to-zone), where the building setback, front yard/foundation landscaping should be provided and maintained.

1. All unpaved ground areas shall be planted with small ornamental and evergreen trees (where space permits), low growing shrubs (minimum 60% evergreen), ornamental grasses, ground cover, turf or combination thereof complementary of the architectural facade.
2. Turf grass in the front yard visible from the public right-of-way shall be installed as sod and not seeded.
3. Seasonal color is encouraged in plant beds and planters at building entrances and public spaces for visual interest and highlights.

Landscaping (cont.)

Parking Area Plantings

(See Parking Area Planting Images)

1. Vehicular Area Screening: Parking areas fronting a street or side street shall be separated from the sidewalk/ right-of- way with a ten (10) foot minimum planting yard consisting of a minimum three (3) foot height screen, except where vehicular sight lines may be impaired. Screening should consist of one or more of the following:
 - a. A decorative, opaque masonry wall (3' minimum/ 4' maximum height) compatible in composition, appearance, color and architectural detail with the proposed building and landscaping.
 - b. An undulating earthen berm (3' minimum height) and landscaping not to exceed a slope of 3:1.
 - c. A continuous hedge row of evergreen shrubs (3' minimum/ 4' maximum height), shade trees (1/30LF) and groundcover. Understory ornamental trees, small evergreen trees, flowering shrubs, ornamental grasses and/or perennials may be supplemented for visual interest.
2. Interior Parking Plantings: To break up large expanses of parking and provide shading, landscaping shall be installed in and around parking areas. Required plantings shall be located within or adjacent to parking areas, in planting islands, medians, at the end of parking bays or between rows of parking.
 - a. Required vehicular area screening plantings may also satisfy the interior parking area requirements if spacing requirements are met.
 - b. Landscape islands are required so that no parking space is more than fifty (50) feet from the trunk of a large shade tree.
 - c. Planting islands within parking areas shall be a minimum of ten (10) feet wide and two-hundred-fifty square feet (250 SF) protected by curbs, bollards, wheel stops, walls, etc.
 - d. Parking islands shall be planted with low shrubs and/or groundcover so as to facilitate safe sight distances.
 - e. Shrubs shall not be planted within six (6) feet of a trunk of a new tree, nor within the drip line of a protected existing tree.
 - f. Parking areas shall be separated from building facades by a five (5) foot minimum foundation planting area and pedestrian walks leading to building entrances.



Vehicular Area Screening



Parking Area Planting

Design Standards

Environmental

Special Flood Hazard Area

The Wellness District lies adjacent to the East South Fork of the New River and Winkler's Creek. These rivers and streams though an amenity, have been a source of flooding for adjacent low-lying areas. Approximately twenty-five percent (25%) of the district lies in the Special Flood Hazard Area.

The Town of Boone regulates the type of development in the Special Flood Hazard Area identified on the Flood Insurance Rate Map (FIRM) as an area expected by undulated by a flood every one-hundred (100) years or one-percent (1%) annual chance of flooding (100 year flood). The Special Flood Hazard Area is divided into two areas, the Flood Fringe and the Floodway zones.

AE Floodway

Generally, no development is permitted in the AE Floodway. No encroachments, including fill, new construction, substantial improvements and other development shall be permitted unless:

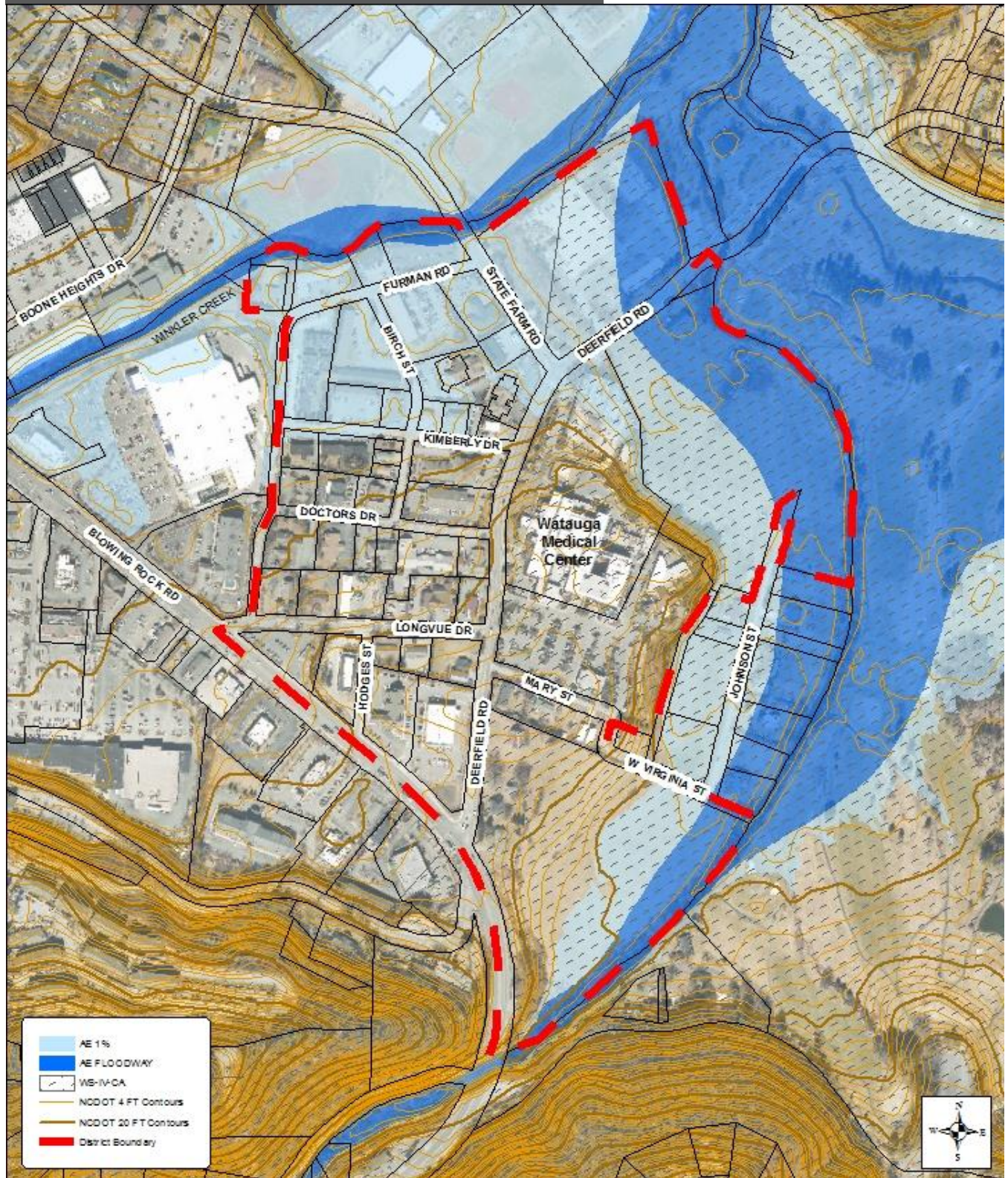
1. Proposed encroachment would not result in any increase in the flood levels during the occurrence of the base flood.
2. A Conditional Letter of Map Revision (CLOMR) has been obtained upon completion of the proposed encroachment.
3. A Flood Study is required to verify and documents the proposed development impacts to the floodway.

AE 1%

The AE 1% is the area lying outside of the Floodway, but within the Special Flood Hazard Area and is considered at a higher risk of flooding.

1. Generally, the Base Flood Elevation (BFE) in the Wellness District is 3113'. Development in the flood Fringe requires the building elevation to be two feet (2') above BFE.
2. Fill or construction is permitted within the AE 1% under specific regulations.

Figure 11: Hydrology Map



Communication: Wellness District Small Area Plan (Wellness District - Development Standards)



Stormwater Management

Watershed

Approximately half the Wellness District lies within the New River Watershed Critical Area (WS-IV-CA).

1. Development in the Watershed Critical Area shall be allowed at a maximum of twenty-four percent (24%) built-upon (impervious) area.
2. Previously-developed sites prior to 1993 may calculate existing built-upon area plus an additional 24% maximum built-upon area for future development
3. A Watershed Permit is required for development in the Critical Area Watershed area.

Stream Buffers

The Wellness District is bordered on the northeast and northwest by the Middle Fork of the New River and Winkler Creek respectively. Stream buffers adjacent to these streams are evidence of wise land use management and shall be maintained. Well managed vegetated buffers are important in protecting water quality by filtering stormwater runoff before entering streams. Vegetated buffers also moderate water temperature, provide wildlife habitats and flood control protecting adjacent properties.

A minimum fifty foot (50') vegetated buffer (measured from top of bank) is required along all perennial waters to protect water quality by trapping and filtering pollutants before they reach the watercourse.

No development is allowed in the 20' undisturbed stream buffer. Greenways, walking paths and pedestrian bridges are permitted in the outer thirty feet (30') of the buffer with minimum disturbance.

Stormwater Management

Engineered stormwater management controls may be required for development at a pre-development discharge rate during a twenty-five (25) year, twenty-four (24) hour storm on a case by case basis.

1. If required, stormwater detention and/or retention ponds shall be integrated into the site, building and landscape design and shall be aesthetically pleasing (i.e. landscaped vegetative slopes, well maintained amenity features, etc.).
2. Stormwater management strategies shall be coordinated and applied in a comprehensive manner throughout the development.
3. Low impact design techniques for stormwater control are strongly encouraged.

Signage

Wayfinding signage benefits a community by orienting and directing visitors and residents, developing and reinforcing the neighborhood's identity and brand, and allowing for the removal of miscellaneous, inconsistent signage. To encourage a sense of place and multi-modal transportation navigation, the Wellness District shall have a uniform, comprehensive wayfinding signage system to include the following design standards:

Signage is to be compatible in scale with the proposed buildings, overall development and surrounding property. Lettering should be in proportion to the size of the sign. Signs may be internally-illuminated.

Signs shall complement the building façade and streetscape in terms of design, style, materials and color. Colors should contribute to legibility and visual appeal.

Signs should be positioned to emphasize or accent building elements such as storefront openings or entrances.

Signs should be aligned with those on neighboring buildings to promote visual order on the block, avoid visual clutter and enhance legibility.

Except as provided below, signs shall meet the requirements of Article 26 of the Town of Boone Unified Development Ordinance.

Signs Permitted in the Wellness District

The Wellness District provides for a variety of mixed uses. The area is oriented to pedestrian circulation as well as vehicular traffic. Signs are to transfer an efficient means of information consistent with the hierarchy of the streets, pedestrian environment and speed of traffic from the public right-of-way.

District / Gateway Signage

Gateway signs are placed on architectural landmarks/ structures located at entranceways to the district. District signage shall establish a visually continuous theme throughout the area incorporating an identifiable logo and/or colors on gateway monuments, banners, kiosks and public signs.



District / Gateway Signage



Directional / Monument / Projecting Signs

Business Identification Signage

Each business is permitted two (2) signs per frontage. One (1) additional sign may be permitted for frontages greater than four hundred (400) linear feet. Signs may be chosen from the following categories: wall/ window, monument, canopy or projecting. In no case may signs be of the same category, except a business may have two wall/ window signs. Signs may be illuminated. Colors for signs shall be limited to two (2) colors plus the background color. This does not apply to federally registered trademarks. Applicants shall submit a complete sign package to the Town Administrator for approval.

1. Wall/ Window Signs: Attached wall or window signs are strongly encouraged.
 - a. Wall signs should project no more than twelve (12) inches from the building façade.
 - b. Wall signs shall not exceed an area equal to one (1) square foot of sign area per linear foot of building frontage. The maximum permitted square-footage of a wall sign is eighty (80) square feet regardless of building size.
2. Monument Signs: All monument signs shall meet the following criteria:
 - a. Monument signs shall be located on the same lot as the business being advertised and limited to one monument sign per property.
 - b. Maximum height of monument signs is eight (8) feet with a maximum copy area of forty (40) square feet.
 - c. Multi-tenant signs are required for separate establishments on the same property.
 - d. The base of the sign shall be landscaped with a variety of small evergreen shrubs, annuals and/or perennials not obstructing the sign face.
3. Canopy and Projecting Signs:
 - a. No more than one (1) right-angle sign should be allowed for each business.
 - b. Signage must be identical on both sides of projecting signs.
 - c. Projecting signs shall not exceed twenty-four (24) square feet in area on each side.
 - d. A nine (9) foot clear zone shall be maintained below projecting signs.
 - e. Signs may project no more than three (3) feet beyond the wall to which it is attached.
 - f. Projecting signs may not extend above a second story of a building.
 - g. Canopy signs shall not exceed twenty-five (25) percent of the awning with a maximum of forty-eight (48) square feet regardless of the size of the awning.
 - h. Canopy signs may be attached at the face of, side of or under the awning. Signs attached to the face or side of the awning may not exceed twelve (12) inches in height.

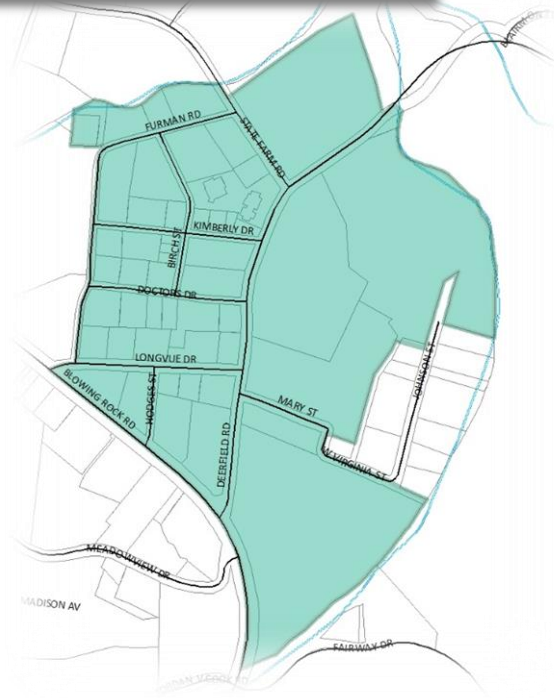
Article 17 WELLNESS DISTRICT STANDARDS

17.01 Applicability

17.01.01 The Wellness District (WD) is guided by the goals, objectives, policies and standards of the Wellness District Small Area Plan.

17.01.02 Figure 17-1 below shows the boundaries of the WD.

Figure 17-1 Wellness District Boundaries



17.01.03 No provision in this article shall be applicable to any property lying outside the boundaries of the WD.

17.01.04 Except as provided herein, development within the WD shall comply with all standards as set forth in this Ordinance.

17.01.05 This article shall govern in the event of conflicts with other regulations of this Ordinance.

17.02 District Use Requirements

17.02.01 Except as provided herein, all principal, accessory and temporary uses within the WD shall comply with Article 15 District Uses.

17.02.02 Except for educational uses and medical uses, development containing more than 20,000 square feet or having building footprints greater than half an acres shall provide for a mix or two or more (2+) principal uses.

17.02.03 The permitted uses allowed within the Wellness District are those permitted under the Town of Boone, Unified Development Ordinance, Article 15, District Use Requirements as of the date of the approved Wellness District Small Area Plan and are further limited herein.

A. Table of Principal Uses

Use #	Specific Use	Reference
3.0 Transient Living		
3.07	Hotel	
4.0 Institutional Uses		
4.05	Post Office	
5.0 Government Uses		
5.12	Police Substation	
7.0 Telecommunication		
7.11	Emergency Response Communications	
8.0 Assembly		
8.01	Religious Assembly, Category 1	
9.0 Education		
9.01	Appalachian State University (no residential uses allowed)	
9.02	Caldwell Community College & Technical Institute (no residential uses allowed)	
9.03	Other Public Colleges & Universities (no residential uses allowed)	
9.04	Other Private Colleges & Universities (no residential uses allowed)	
10.0 Daycare		
10.01	Child Daycare, Large	15.25
10.02	Child Daycare Center	
10.04	Adult Daycare Center	
11.0 General Sales and Service:		
11.04	Financial Institution ≤ 5,000 ft²	
11.05	Financial Institution > 5,000 ft²	
11.06	Restaurant ≤ 2,500 ft² open to the public during 10 pm – 6 am	
11.07	Other Restaurants ≤ 2,500 ft²	
11.08	Restaurant > 2,500 ft² open to the public during 10 pm – 6 am	
11.09	Other Restaurants > 2,500 ft²	
11.13	Other Personal Service Establishments	
11.14	Retail Store up to 5,000 ft²	
11.15	Retail Store more than 5,000 but less than 25,000 ft²	
11.16	Retail Store 25,000 ft² and greater	17.02.05
11.18	Business/Professional Office open to the public during 10 pm–6 am	
11.19	Other Business or Professional Office	
11.20	Medical Office, Category 1	
11.21	Medical Office, Category 2	
11.22	Medical Office, Category 3	
11.23	Medical Office, Category 4	
11.24	Hospital	
11.25	Medical Emergency Response	
11.35	Therapy Farm	
12.0 Recreation		
12.10	Recreation Facility, Category 1	
15.0 Parking		
15.01	Parking Structure	17.02.06

B. Table of Accessory Uses

Use #	Specific Use	Reference
A-2	Home Occupation	15.53
A-4	Limited Non-Restaurant Drive-Through	
A-7	Outdoor Dining	15.58
A-8	Automated Teller Machine (ATM)	
A-9	Automated Teller Machine (ATM), Freestanding	15.59
A-19	Helistop	
A-20	Swimming pools, spas and hot tubs	15.66

C. Table of Temporary Uses

Use #	Specific Use	Reference
T-3	Temporary Construction Trailer	15.69
T-4	Temporary Mobile Medical Unit	
T-5	Temporary Classroom	
T-8	Temporary Non-Fixed Site Event Venue	
T-9	Temporary Carrier on Wheels (COW)	
T-11	Temporary Itinerant Merchant/Peddler	

17.02.04 WD Supplemental Regulations for Retail Store 25,000 ft² and greater

- A.** Use 11.16 is only permitted on properties located within the Corridor Overlay District and which border Blowing Rock Road.
- B.** Use 11.16 within the WD area must meet all additional requirements as set forth in Section 15.27.

17.03 District Standards

17.03.01 Only the density standards set forth in this Article apply to development within the WD.

17.03.02 Minimum Gross Land Area: 10,000 square feet

17.03.03 Minimum Landscaped Area: Twenty percent (20%) of gross land area excluding street right(s)-of-way which meets the requirements of Section 17.06.

17.04 Building Form

17.04.01 Building Orientation: Buildings and their principal entry points, should be oriented toward the public street with the primary façade, architectural elements and entrances clearly identifiable and directly accessible.

17.04.02 Building Siting

A. Setbacks

1. Build-to-lines are 0-foot minimum/20-foot maximum from the edge of the public realm and/or any public space.
2. If the required public walkway encroaches onto private property, the build-to-zone will be measured from the walkway edge.

3. Interior setbacks shall be based on minimum fire separation required between buildings.

B. Buildings along the public rights-of-way shall be a minimum of 60% of the primary property frontage.

17.04.03 Building Height

A. Minimum building height shall be two (2) stories.

B. Maximum building height shall be six (6) stories.

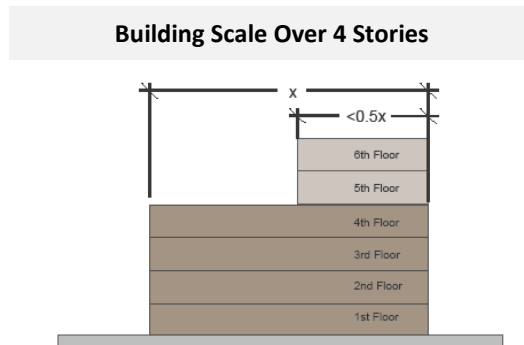
C. Building height shall be measured by the number of stories from the first floor (defined as the street level floor).

1. Equipment penthouses or building parapets are exempt from building height measurements.

D. Corner buildings may exceed the maximum building height by 15% for 20% of the building frontage along each corresponding street as measured from the corner of the building.

17.04.04 **Building Scale:** Buildings greater than four (4) stories must adhere to at least one of the following design standards:

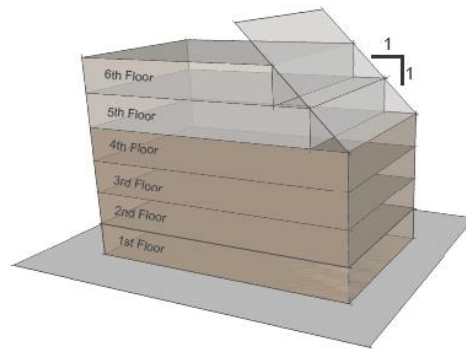
A. Building planes extending above four (4) stories shall be less than 50% of the total building facade along the street,



Or

- B. Buildings greater than four (4) stories shall step back the building plane at a 1:1 ratio along the street façade. For every foot above the maximum permitted building height, the building plane may extend upward one foot for every additional foot setback.

Building Setback Over 4 Stories



17.05 Architectural Standards

17.05.01 Façades: Building façades facing a publically accessible street or other public space shall incorporate the following design standards:

- A. Buildings may have up to 3 different types of façades:
1. The primary façade is the side of the building which faces the public street and which contains the building's primary pedestrian entrance.
 2. The secondary façade is the side of the building which faces a public street and which may contain additional pedestrian entrances.
 3. All other façades are those which do not face a public street.
- B. **Façade Variation:** Buildings shall have architectural features and patterns that provide visual interest while supporting a clear and unified image throughout the development and include:
1. Building façades shall be constructed parallel to the street frontage to the greatest extent possible.
 2. Secondary façades shall be treated with the same design and materials as the primary façade.
 3. Purposeful variation or accents in materials, textures and colors are required.
 4. Horizontal and vertical divisions such as banding and repetitive window patterns.
 5. Primary and secondary façades shall include clear delineation between the first or second level and the upper levels with a cornice, canopy, awning, balcony, arcade or other architectural feature.

6. The mass of the building shall be reduced by changing building planes through offsets and recesses, changing the building heights and varying the parapet or roof heights.
 7. All building façades shall have perceivable, repetitive features and patterns such as windows, columns or other vertical features.
 8. All building façades shall avoid long and monotonous wall and roof planes. Windows and doors are to front onto the street, with direct pedestrian access to the street front sidewalk.
 9. Blank walls and non-transparent windows are prohibited along pedestrian areas and public spaces to help provide for pedestrian comfort, security and points of interest.
 10. For large projects, each sequential block of new construction shall contain unique building facades so as to encourage architectural variety within large projects. While the use of similar architectural elements on multiple buildings is acceptable, large visually monotonous projects with repeating exterior building design(s) does not contribute to visual diversity and human-scale character and therefore is inappropriate.
- C. Building Materials:** Building materials shall be in harmony with the rest of the development to create a sense of place and attraction with the surrounding community. The following material standards apply to all structures, including parking structures, in the district:
1. Permitted building façade materials include: brick, natural stone, cast stone architectural precast stone, glazed curtain wall and window wall systems, architectural precast concrete and architectural- grade metal panels (galvanized, painted or ornamental).
 2. Wood: Porches, balconies, breezeways, pergolas, deep eaves, eyebrows, corbels, trellis and other features are encouraged to be made of wood with a natural finish which generally should not exceed 10% of the major façade.
 3. All other materials not mentioned in 17.05.01(C)(1) and (2) above shall be a compliment or an accent application not to exceed 10% of building facade.
 4. The use of clear or lightly tinted colored glass (30% maximum tint) is required.
 5. Large uninterrupted expanses of a single material are prohibited.
 6. Spandrel glass is permissible only to hide the structural features between the floors of a building.
 7. Vinyl or aluminum siding and colored or mirrored/reflective glass is prohibited.
- D. Building Color:** Building colors shall be in harmony with the rest of the development to create a sense of place and attraction with the surrounding community. The following color standards apply to all structures, including parking structures:

1. Building materials colors (brick, stone, tile, precast stone) shall be subtle, neutral and nature blending.
2. Colors for other manufactured building materials shall be subtle and neutral and shall be compatible with the colors identified in Figure 17-2.
 - a. Stark white and black are prohibited as field colors. (place in table)
3. Building accent colors, including awning and canopy colors, should complement the primary materials and colors used on the building. Accent colors are limited to no more than 10% of each separate façade and shall be compatible with the colors identified in Figure 17-2.
4. Generally no more than four colors are allowed per building (including all materials).
5. Corporate branding colors are permitted on logos and signage.

Figure 17-2 Permissible Field Colors					
Select Benjamin Moore - America's Colors Palette					
AC-1	AC-8	AC-15	AC-22	AC-29	AC-36
AC-2	AC-9	AC-16	AC-23	AC-30	AC-37
AC-3	AC-10	AC-17	AC-24	AC-31	AC-38
AC-4	AC-11	AC-18	AC-25	AC-32	AC-39
AC-5	AC-12	AC-19	AC-26	AC-33	AC-40
AC-6	AC-13	AC-20	AC-27	AC-34	AC-41
AC-7	AC-14	AC-21	AC-28	AC-35	AC-42
Permissible Accent Colors					
Select Benjamin Moore – Color Preview Palette					
Benjamin Moore Color Preview Series 2049-10 through 2174-70.					

- E. Building Fenestration:** Fenestrations (windows and doors) should maximize the views and allowable daylight into spaces.
1. For all street level/ground floor uses located along public streets and other public spaces, 60-90% of all wall area between two (2) and twelve (12) feet shall consist of transparent glazing (clear windows and doors). Upper floors fronting public rights- of-way shall consist of 30-70% windows.

2. Fenestrations shall be spaced thirty (30) linear feet maximum between features.
3. Ground floor restaurants are encouraged to provide windows and doors that can be opened to provide direct access to the sidewalk when weather permits.

F. Pedestrian Entrances:

1. All buildings shall have their main pedestrian entrance opening to a street, courtyard garden or square. When street level uses have entries from more than one street or from other public spaces, the primary entrance will be from the street.
2. A pedestrian entrance is required to access public spaces which adjoin the building.
3. Retail uses with exterior ground level visibility along a street or public space shall have individual public entries from the street or public space in addition to internal entries.
4. Street level retail uses located on building corners shall locate entrances at the corner.
5. Buildings adjacent to existing or planned trails, open spaces or parks shall provide public entries along the façade fronting these amenities.
6. Entrances shall provide shelter from inclement weather.

G. Roofs: Roof lines should have visual interest and features complementing the overall character of the building and the development.

1. Rooftop penthouse enclosures should be architecturally compatible and predominantly of the same material as the building.
2. Single-sloped shed roofs, mansard or vaulted/arched roofs are prohibited.
3. Flat roofs shall be concealed from pedestrian view with a parapet wall.
4. Publically visible roof materials shall be standing seam metal, asphalt shingles, shakes or tile.
5. Publically visible plumbing vent stacks shall be colored to match the roofing material.
6. "Green" roofs utilizing plants to absorb rainwater and reduce ambient air temperatures are strongly encouraged.
7. Rooftop amenities such as sun decks are encouraged.

H. Mechanical/ Service Equipment & Solid Waste Enclosure Screening: All properties shall minimize the visual impact of mechanical/ service equipment and solid waste facilities from the public right-of-way.

1. Service areas, storage areas, restaurant grease receptacles and refuse enclosures should be oriented away from public view and screened from public areas.
2. Service and refuse areas are encouraged to be clustered together where feasible

at the rear of the building.

3. Solid waste and recycling enclosures and all other waste storage or containers, other than streetscape and site furnishing trash receptacles, shall be designed into a structure or building, or shall be screened from adjacent public streets by an opaque enclosed structure (see detail in UDO Subsection 22.13.03) compatible with the building architecture.
 - a. Additional landscape plantings compatible with the overall landscape plan may be required outside of the enclosures to soften the appearance from public view.
4. Utility cabinets and pedestals should not be located within parking lot landscape islands or the public right-of-way where they cannot be screened, are exposed to damage from vehicles and/or present a hazardous visual obstruction to drivers or pedestrians.
5. Meter boxes shall not be located along the front of buildings and screened if located on the side of a building.
6. Ground level mechanical equipment shall be screened by a structure that complements the design of the building through the use of similar materials, colors, finishes and architectural details. Additional landscape plantings compatible with the overall landscape plan shall be required outside of the structure to soften the appearance from public view.
7. All rooftop mechanical equipment should be screened from view from adjacent properties and adjacent right-of-way by use of parapet walls or screens designed to be compatible with the building architecture.
8. Elevator penthouses shall be screened by a structure that is architecturally compatible with the design of the building through the use of similar materials, colors, finishes and architectural details used on the primary building façade.

17.06 Landscape Standards

17.06.01 Landscaping promotes sustainable development, minimizing negative impacts on natural resources and is vital to softening the harshness of paved areas and buildings while enhancing a sense of place.

17.06.02 Compliance

- A. All plant material must comply with Appendix B, Guide for Landscaping. All plant material must comply with the latest edition of the American Standard for Nursery Stock published by the American Nursery and Landscape Association.
- B. Plant material must be locally adaptable species and hardy to Zone 6 in accordance with the US Department of Agriculture's Plant Hardiness Zone Map and comply with the Town of Boone Approved Plant List in Appendix B.
 1. Xeriscaping and water conservation landscaping is an encouraged alternative. The practice of Xeriscaping includes the use of native grasses, low-water need plant

material, and the addition of soil amendments and mulching. Refer to the plant list in Appendix B for a list of Xeriscaping compatible plant material.

- C. Necessary pruning and trimming shall be in accordance with UDO Section 31.12.04, Prohibited Pruning, and must be done in strict accordance with the current edition of “Tree, Shrub, and other Woody Plant Maintenance – Standard Practices” of the American National Standard for Tree Care Operations (ANSI 300).
- D. All plants and materials fulfilling the landscape requirements shall meet the following minimum installation sizes and types:
 - 1. Large deciduous shade trees shall be a minimum three inch (3”) caliper with a height of fourteen to sixteen feet (14’ – 16’) at planting.
 - 2. Small to medium sized deciduous ornamental trees shall be a minimum two inch (2”) caliper with a height of ten to twelve feet (10’ – 12’) at planting.
 - 3. Evergreen trees shall be a minimum of eight feet (8’) in height at planting.
 - 4. Shrubs shall be a minimum of twenty-four inches (24”) in height and spread at the time of planting.
 - 5. All sodded or seeded lawn areas must be comprised of a Bluegrass/Fescue blend.
 - 6. Mulch shall be dark hardwood three inches (3”) in thickness.
 - 7. Landscaping shall not obstruct the views of motorists using any street, driveway or parking aisle and comply with a ten feet (10’) by seventy feet (70’) sight distance triangle.

17.06.03 Street Yard Landscaping

- A. A street yard consists of a landscape area parallel to the public right-of-way, typically between the sidewalk and the development, designed to provide continuity of vegetation along the public realm and soften the impact of the development by providing a pleasing view form the street.
- B. The street yard must contain a combination of the following:
 - 1. An average of one (1) large deciduous tree three inch (3”) minimum caliper (unless subject to overhead power lines) per thirty feet (30’) of street frontage. Innovative design in tree arrangement is encouraged.
 - 2. An average of one (1) low growing small shrub, ornamental grasses per five feet (5’) of street frontage with a minimum of twenty-four inches (24”) in height and spread at the time of planting. A minimum 60% of the shrubs must be evergreen.
 - 3. A minimum twenty percent (20%) of the front street shall be turf and must be sodded. Turf shall be located on the street side of the front street yard.
 - 4. Seasonal color is encouraged in the front street yard with an emphasis on the entrance areas.

- C. Although no street yard setback is required (0' minimum, 20' maximum build-to-zone), where the building is setback, a front street yard is required.
- D. Parking areas fronting a street or side street shall be separated from the sidewalk and/or right-of-way with a ten feet (10') minimum planting yard consisting of a minimum three feet (3') height screen, except where vehicular sight lines may be impaired. Screening should consist of one or more of the following:
 - 1. A decorative, opaque masonry wall (2' minimum/3' maximum height) compatible in composition, appearance, color and architectural detail with the proposed building and landscaping.
 - 2. An undulating earthen berm (3' minimum height) and landscaping not exceed a slope of 3H:1V.
 - 3. A continuous hedge row of evergreen shrubs (3' minimum/4' maximum height), shade trees (1/30lf) and groundcover. Understory ornamental trees, small evergreen trees, flowering shrubs, ornamental grasses, and/or perennials must be supplemented for color and visual interest.
- E. The following trees are required based upon location:

Street Tree Planting Schedule		
Street Tree	Species	District Street
'Allee' Lacebark Elm	<i>Ulmus parvifolia</i> 'Allee'	Deerfield Road
'Hightower' Willow Oak	<i>Quercus phellos</i> 'QPSTA'	State Farm Road/Longvue Road
Bald Cypress	<i>Taxodium distichum</i>	Furman Road
'October Glory' Red Maple	<i>Acer rubrum</i> 'October Glory'	Doctors Drive/Kimberly Drive
'Panache' Shumard Oak	<i>Quercus shumardii</i> 'QSFTC'	Birch Street
Alternate Compliance Ornamental Trees (for use only with existing overhead power lines as main street tree with approval from Urban Design Specialist)		
Street Tree	Species	
'Forest Pansy' Redbud	<i>Cercis Canadensis</i> 'Forest Pansy'	
'Kwanzan Cherry	<i>Prunus serrulata</i> 'Kwanzan'	
Kousa Dogwood	<i>Cornus kousa</i>	

17.06.04 Interior Landscaped Areas

- A. Landscaped areas other than street yards, must meet the following standards must be met:
 - 1. Areas must be a minimum of eight feet (8) in width.

2. A minimum of 5 Large Deciduous Trees per one-hundred feet (100') of linear landscaped area length, or more based on the need to provide additional trees to meet tree canopy coverage requirements.
 3. A minimum of 2 Small Deciduous/Ornamental Trees per one-hundred feet (100') of linear landscaped area length, or more based on the need to provide additional trees to meet tree canopy coverage requirements.
 4. A minimum of 8 Large Evergreen Trees per one-hundred feet (100') of linear buffer length.
 5. A minimum of 12 Shrubs per one-hundred feet (100') of linear buffer length.
- B.** Required buffers shall not be disturbed for any reason except for open/public spaces, driveway openings or connectors, pedestrian or bike paths, designated greenways, utilities, drainage ways, bio-retention areas, walls, fences, and other passive or minor uses compatible with the general separation of land uses and provided that the total number of required plantings are still met.

17.06.05 Foundation Landscaping

- A.** Vehicular surface areas shall be separated from building facades by both a five feet (5') minimum foundation planting area and pedestrian walks leading to building entrances.
- B.** This area shall contain small ornamental and evergreen trees, low growing shrubs (minimum 60% evergreen), ornamental grasses, ground cover, turf or combination thereof complimentary of the architectural façade and shall sufficiently mass the landscaped area.

16.06.06 Tree Pit/Plaza Landscaping

- A.** A minimum six (6) foot by six (6) foot opening, clear of utilities, shall be provided for all trees.
- B.** Root barriers shall be provided for all tree plantings.
- C.** Tree grates or other approved devices shall be provided around all trees in hard surfaced areas to ensure adequate water and air penetration.
- D.** Structural soils are encouraged within tree pit areas.

17.06.07 Parking Area Landscaping

- A.** To break up large expanses of parking and to provide shading, landscaping shall be installed in and around parking areas. Required plantings shall be located within or adjacent to parking areas, in parking islands, medians, at the end of parking bays, or between rows of parking.
1. Landscape islands are required so that no parking space is more than fifty feet (50') from the trunk of a large deciduous tree.

2. Shrubs shall be planted at the rate of one (1) eighteen inch (18") minimum height evergreen shrub, deciduous shrub or ornamental grass per every two-hundred-fifty square feet (250 ft²) of vehicle surface area.
3. Parking islands shall be planted as to facilitate safe sight distances.
4. Shrubs shall not be planted within six feet (6') of a trunk of a new tree, nor within the drip line of a protected/preserved tree.
5. Planting islands within parking areas shall be a minimum of ten feet (10') in width and two-hundred-fifty square feet (250 ft²) protected by curbs, bollards, wheel stops, walls, etc.

17.06.08 Tree Canopy Preservation and Planting Requirements

- A. Preserving trees and the overall tree canopy can improve the aesthetic quality of the site and Town as a whole, provide environmental benefits, and mitigate the impacts of development on the community. In addition to compliance with UDO Section 31.13, a Tree Canopy Preservation Plan must be provided demonstrating the following requirements:
 1. Every parcel shall retain existing trees or provide new trees to equal thirty percent (30%) tree canopy coverage.
 2. The plan must show pre and post development canopy calculations and trees by common and botanical name, size, quantity, and health of tree(s) and tree canopy coverage provided by each tree. Canopy coverage is the area beneath the drip line of the existing trees on the lot/parcel. For onsite trees if the canopy extends into a neighboring property, credit for that portion of the canopy may also be taken. Canopy coverage can only be credited from healthy trees or stands of trees.
 3. Credit for newly planted trees shall be calculated as follows:
 - a. Large Deciduous Tree – 620 square feet of canopy coverage
 - b. Small Deciduous Tree – 225 square feet of canopy coverage
 - c. Large Evergreen Tree – 250 square feet of canopy coverage
 - d. Small Evergreen Tree – 100 square feet of canopy coverage
 4. When calculating how much existing tree canopy coverage is already present on the parcel, you may multiply this by 1.25. This additional credit is to encourage the preservation of existing tree canopy.

17.07 Parking Standards

- 17.07.01** Except as provided herein, development within the WD district shall meet the standards in Article 24 Parking.

17.07.02 Vehicular Parking:

- A.** All parking serving the site and counted toward minimum parking requirements shall be located on the site or within 1,200 feet of the building entrance if located off-site.
- B.** Parking between the public street and the building is not permissible.
 - 1. Exceptions: no more than one bay of parking is to be permitted to avoid large expanses of parking separating the building from the sidewalk.
- C.** Wellness District Education Use Minimum Parking Requirements:
 - 1. Instructional Labs / Classrooms: 4 spaces/classroom
 - 2. Lecture Halls: 1 space/3 seats
- D.** Parking Reductions: In order to promote a pedestrian-oriented, human-scale, urban form and multi-modal access, parking reductions are allowed as provided below. The permit issuing authority may adjust the minimum/ maximum number of parking spaces required when one or more of the following is applicable:
 - 1. The Planning Administrator may approve parking reductions for live-work developments or residential units specifically designated for Wellness District business.
 - 2. A 10% reduction in the number of required parking spaces for businesses oriented to pedestrian traffic.
 - 3. A 10% reduction in the number of required parking spaces for developments located adjacent to a public greenway system with pedestrian/ bike linkages and designated bicycle parking areas.
 - 4. A 20% reduction in the number of required parking spaces is permitted for developments located along a public transit line with designated transit stops located within a walking distance of 1,320 feet and operating service from 6:00 AM to 6:00 PM where service intervals are no longer than 15 minutes during peak commute hours.
 - 5. To limit the amount of impervious surfaces dedicated to parking on each lot, shared parking is encouraged. A shared parking analysis prepared by a registered licensed professional transportation engineer in North Carolina using the Urban Land Institute (ULI) Shared Parking Model (latest edition) or a study showing excessive, unused parking by one owner to be shared with another owner must be submitted. A written agreement between property owners acknowledging the number of shared parking spaces must be submitted and agreed to by the permit issuing authority.
 - 6. A parking study, prepared by a licensed professional engineer, illustrating that the required parking ratios do not accurately apply to a specific development.

7. If the number of required off-street parking spaces cannot be reasonably provided on the property associated with the principal use, then spaces may be provided on adjacent or nearby lots, satellite parking lots may be located up to a half-mile (0.5 mi) from the principal use building if served by a transit line, shuttle, or located along a dedicated pedestrian sidewalk or greenway trail. Written permission from the owner/person responsible for the satellite parking spaces must be provided. The applicant shall provide written acknowledgement that continuing the validity of his permit depends on his continuing ability to provide the requisite number of parking spaces.
- E. Parking Structures:** Parking structures are strongly encouraged to consolidate parking, and to encourage walking and better utilization of the land.
1. Parking structures are encouraged to be located at the interior of a block or under buildings, not visible from the public right-of-way. Ground floor commercial uses, or space adaptable for future commercial use, are encouraged to be integrated into the structure located along the public street.
 2. Parking structures shall not have exposed structured parking at the ground floor level along street frontages.
 3. If parking structures are located along the public right-of-way, building setbacks, scale, height requirements and architectural design standards are applicable with trees and foundation plantings installed to soften the parking structure façade.
 4. Parking structures should be designed so ramps are hidden from view of the street or public right-of-way.
 5. Structures should be constructed of the same building materials as the district buildings.
- F. Drive-Through Facilities:**
1. Non-restaurant drive-through are allowed but shall be approved by the Community Appearance Commission.
 2. Drive-through and stacking lanes shall not be located along facades facing a public street.
 3. Drive-through and pick up windows shall be placed to the side or rear of buildings and screened.
 4. Architectural elements, landscaping and/or other screening elements shall be used to minimize the visual impacts of the drive-through facility.
 5. Screening shall be a minimum four (4) foot height wall compatible with the building architecture, material, color and details or a continuous compact evergreen hedge (36" minimum height at the time of planting reaching 48" minimum height within three years).
 6. The design and location of the facility shall not impede vehicular flow or pedestrian

movement and safety.

7. Drive-through and pick-up window canopy materials, design and color shall be the same as the primary building.

G. Loading/ Unloading Areas:

1. Loading and unloading areas are regulated by Section 24.08.
2. Loading and unloading activities are not permitted in the public right-of-way unless specifically designated by the Town.
3. All loading/unloading areas shall be located to the side or rear of buildings and shall be screened from public view.
4. Screening shall be a minimum four (4) foot height wall compatible with the building architecture, material, color and details or a continuous compact evergreen hedge (36" minimum height at the time of planting reaching 48" minimum height within three years).
5. Loading and unloading activities may not encroach on or interfere with the use of sidewalks, drive aisles, stacking spaces or parking areas.

17.08 Streets, Driveways, Sidewalks and Greenways

17.08.01 Except as provided herein, streets, driveways and sidewalks shall meet the standards set forth in Article 23.

17.08.02 Driveways

- A. Site access drives shall be consolidated and located across from intersections for the safety of motorists and pedestrians.
- B. Developments are required to provide drive aisles to the edge of the property in order to provide for future cross-access between sites.
- C. Sites are required to provide cross-access easements between properties for circulation.
- D. Driveway crossing should maintain the same elevation of the sidewalk. The appearance of the sidewalk (scoring pattern or special paving) should be maintained across the driveway to indicate that though a vehicle may cross, the area traversed by a vehicle remains part of the pedestrian travel way.

17.08.03 Sidewalks

- A. Sidewalks meeting the requirements of UDO Section 23.08 are required along the entire length of any abutting street.
- B. The fee-in-lieu provisions contained in Section 23.08.05 shall not apply.

17.08.04 Greenways

- A.** Applicants are required to provide a greenway in the locations as set forth in the b.Well Section Plan of the Middle Fork Greenway Master Plan.
- B.** Greenway construction shall follow the design requirements as set forth in Appendix A of the Town of Boone Pedestrian and Bicycle Plan.

17.09 Signs

17.09.01 Except as provided herein, signs are regulated in Article 26.

17.09.02 All signs must be shown and approved on a master plan, which shall indicate, sign size, location, lighting and copy (if available). All subsequent sign approvals for the development must be in compliance with the master plan.

17.09.03 Signs shall be limited to two (2) colors plus the background color. This does not apply to federally registered trademarks.

17.09.04 Sign copy on two-faced signs shall be identical on both sides.

17.09.05 Changeable copy is not allowed.

17.09.06 Sign lighting is limited to .3 foot-candles above ambient lighting.

17.09.06 Standards set forth in UDO Section 26.12 Shopping Centers and Malls, Section 26.14 Home Occupation Sign, and Section 26.15 Exceptions and Modifications do not apply within the WD.

17.09.07 Building Identification Signs: Buildings are permitted to have building identification wall signs subject to the regulations below.

- A.** Each building is allowed one (1) wall sign per each primary and secondary facade.
- B.** Building Identification Signs may not exceed .025% of the entire building façade for which the sign is to be located.
 - 1. Minimum size allowed regardless of building façade area is 24 square feet; and
 - 2. Maximum size allowed regardless of building façade area is 120 square feet.
- C.** Sign copy is limited to the name of the building and shall not contain the name or logo of any tenant or business.
- D.** Building identification signs are not limited to their location on the building façade.
- E.** Lighting for a building identification sign is limited to back-lighting or down-lighting.

17.09.08 Attached Sign(s): Each ground floor tenant/business is allowed one attached sign for each primary and secondary façade which contains a pedestrian entrance subject to the regulations below:

- A.** Attached signs as permitted herein are not permitted above the ground floor/street level of each building.

- B.** An attached sign must be located on the portion of the building which is occupied by the tenant/business the sign is for.
- C.** Attached signs which encroach into the public right-of-way are required to obtain an encroachment agreement.
- D.** The bottom of an attached sign shall be located at a minimum height of nine feet (9') from the adjacent finished grade.
- E. Wall**
 - 1. A wall sign shall not project more than twelve inches (12") from the building façade.
 - 2. The size of a wall sign is limited to the tenants'/business' linear building frontage along the primary or secondary façade (as applicable).
 - a. The wall sign is limited to one square foot of sign area per linear foot of building frontage.
 - b. The maximum permitted square-footage of a wall sign is eighty (80) square feet regardless of linear building frontage.
 - 3. Lighting for a wall sign is limited to internal illumination or down-lighting.
- F. Canopy/Awning**
 - 1. Canopy and awning sign copy shall not exceed twenty-five percent (25%) of the canopy or awning with a maximum of forty-eight (48) square feet of copy area regardless of the size of the awning.
 - 2. Sign copy on a canopy shall be located on the valance.
 - 3. Canopy and awning lighting is limited to down-lighting.
- G. Projecting**
 - 1. A projecting sign shall be mounted and perpendicular to the building façade.
 - 2. A projecting sign shall not exceed twenty-four square feet (24 ft²) in area.
 - 3. Lighting for a projecting sign is limited to internal illumination or down-lighting.

17.09.09 Monument Sign

- A.** The only freestanding sign other than directional signs allowed within the WD is a monument sign, which can be a two-faced sign that has a base at least seventy-five percent (75%) of the horizontal width of the sign and the base of the sign must be located directly on the ground.
- B.** The size of the monument sign shall be twenty-five square feet (25 ft²) for the first fifty feet (50 ft.) of street frontage plus .75 square feet for each additional foot of street frontage to a maximum sign face area of 70 square feet.

- C. Monument sign heights are limited to five feet (5') as measured from finished grade to the top of the sign structure.
- D. Copy of the monument sign is limited to the building name/address and/or commercial tenants within the building.
- E. Monument sign lighting is limited to internal illumination or down-lighting.

17.09.10 Directory Sign(s)

- A. Each building entrance which allows access to a building, not a specific tenant/business, is allowed to display a directory sign.
- B. The directory sign must be building mounted adjacent to the building entrance.
- C. A directory sign is limited to no more than twenty square feet (20 ft²).
- D. Directory sign lighting is limited to down-lighting.

17.09.11 Directional Signs: Directional signs to direct traffic flow and to locate entrances and exits shall be permitted subject to the following:

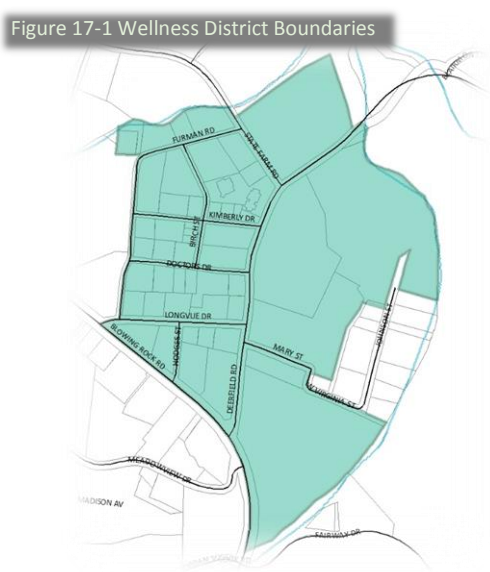
- A. Directional signs must be shown and approved on all site plans, which shall indicate, sign size, location and copy.
- B. Directional signs shall not exceed four square feet (4 ft²) in area and three feet (3') in height above grade.
- C. Logos, names and advertising are not permitted on directional signs.

(Article 17: 20160295-06162016)

Article 17 WELLNESS DISTRICT STANDARDS

17.01 Applicability

- 17.01.01 The Wellness District (WD) is guided by the goals, objectives, policies and standards of the Wellness District Small Area Plan.
- 17.01.02 Figure 17-1 below shows the boundaries of the WD.



- 17.01.03 No provision in this article shall be applicable to any property lying outside the boundaries of the WD.
- 17.01.04 Except as provided herein, development within the WD shall comply with all standards as set forth in this Ordinance.
- 17.01.05 This article shall govern in the event of conflicts with other regulations of this Ordinance.
- 17.02 District Use Requirements
- 17.02.01 Except as provided herein, all principal, accessory and temporary uses within the WD shall comply with Article 15 District Uses.
- 17.02.02 Except for educational uses and medical uses, development containing more than 20,000 square feet or having building footprints greater than half an acre shall provide for a mix ~~of~~ of two or more (2+) principal uses.

- 17.02.03** The permitted uses allowed [by right](#) within the Wellness District are those permitted under the Town of Boone, Unified Development Ordinance, Article 15, District Use Requirements as of the date of the approved Wellness District Small Area Plan and are further limited herein.

A. Table of Principal Uses

Use #	Specific Use	Reference
3.0 Transient Living		
3.07	Hotel	
4.0 Institutional Uses		
4.05	Post Office	
5.0 Government Uses		
5.12	Police Substation	
7.0 Telecommunication		
7.11	Emergency Response Communications	
8.0 Assembly		
8.01	Religious Assembly, Category 1	
9.0 Education		
9.01	Appalachian State University (no residential uses allowed)	
9.02	Caldwell Community College & Technical Institute (no residential uses allowed)	
9.03	Other Public Colleges & Universities (no residential uses allowed)	
9.04	Other Private Colleges & Universities (no residential uses allowed)	
10.0 Daycare		
10.01	Child Daycare, Large	15.25
10.02	Child Daycare Center	
10.04	Adult Daycare Center	
11.0 General Sales and Service:		
11.04	Financial Institution ≤ 5,000 ft²	
11.05	Financial Institution > 5,000 ft²	
11.06	Restaurant ≤ 2,500 ft² open to the public during 10 pm – 6 am	
11.07	Other Restaurants ≤ 2,500 ft²	
11.08	Restaurant > 2,500 ft² open to the public during 10 pm – 6 am	
11.09	Other Restaurants > 2,500 ft²	
11.13	Other Personal Service Establishments	
11.14	Retail Store up to 5,000 ft²	
11.15	Retail Store more than 5,000 but less than 25,000 ft²	
11.16	Retail Store 25,000 ft² and greater	17.02.05
11.18	Business/Professional Office open to the public during 10 pm–6 am	
11.19	Other Business or Professional Office	
11.20	Medical Office, Category 1	
11.21	Medical Office, Category 2	
11.22	Medical Office, Category 3	
11.23	Medical Office, Category 4	
11.24	Hospital	
11.25	Medical Emergency Response	
11.35	Therapy Farm	
12.0 Recreation		
12.10	Recreation Facility, Category 1	
15.0 Parking		
15.01	Parking Structure	15.47

B. Table of Accessory Uses

Use #	Specific Use	Reference
A-2	Home Occupation	15.53
A-4	Limited Non-Restaurant Drive-Through	
A-7	Outdoor Dining	15.58
A-8	Automated Teller Machine (ATM)	
A-9	Automated Teller Machine (ATM), Freestanding	15.59
A-19	Helistop	
A-20	Swimming pools, spas and hot tubs	15.66

C. Table of Temporary Uses

Use #	Specific Use	Reference
T-3	Temporary Construction Trailer	15.69
T-4	Temporary Mobile Medical Unit	
T-5	Temporary Classroom	
T-8	Temporary Non-Fixed Site Event Venue	
T-9	Temporary Carrier on Wheels (COW)	
T-11	Temporary Itinerant Merchant/Peddler	

17.02.04 WD Supplemental Regulations for Retail Store 25,000 ft² and greater

- A. Use 11.16 is only permitted on properties located within the Corridor Overlay District and which border Blowing Rock Road.
- B. Use 11.16 within the WD area must meet all additional requirements as set forth in Section 15.27.

17.03 District Standards

17.03.01 Only the density standards set forth in this Article apply to development within the WD.

17.03.02 **Minimum Gross Land Area:** 10,000 square feet

17.03.03 **Minimum Landscaped Area:** Twenty percent (20%) of gross land area excluding street right(s)-of-way which meets the requirements of Section 17.06.

17.04 Building Form

17.04.01 **Building Orientation:** Buildings and their principal entry points, should be oriented toward the public street with the primary façade, architectural elements and entrances clearly identifiable and directly accessible.

17.04.02 Building Siting:

1. Setbacks

1. Build-to-lines are 0-foot minimum/20-foot maximum from the edge of the ~~public realm and/or any public space~~ amenity zone or pedestrian zone whichever is the most restrictive.

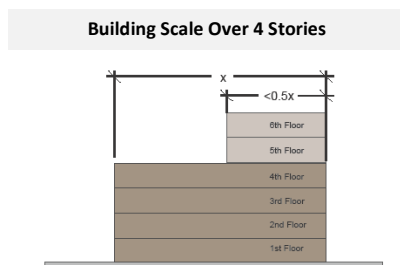
2. If the required public ~~walkway~~ sidewalk or similar public pathway encroaches onto private property, the build-to-~~zone~~ line will be measured from the walkway edge.
3. Interior setbacks shall be based on minimum fire separation required between buildings.
2. ~~Buildings along the public rights-of-way shall be a minimum of 60% of the primary property frontage.~~ The length of the side of the building containing the primary façade shall be a minimum of 60% of the street frontage of the property the building is located on.

17.04.03 Building Height

- A. Minimum building height shall be two (2) stories.
- B. Maximum building height shall be six (6) stories.
- C. Building height shall be measured by the number of stories from the first floor (defined as the street level floor).
 1. ~~Equipment p~~ Penthouses for elevators, mechanical equipment or stairs ~~or and~~ building parapets are exempt from building height measurements.
- D. Corner buildings may exceed the maximum building height by 15% for 20% of the building frontage along each corresponding street as measured from the corner of the building.

17.04.04 Building Scale: Buildings greater than four (4) stories must adhere to at least one of the following design standards:

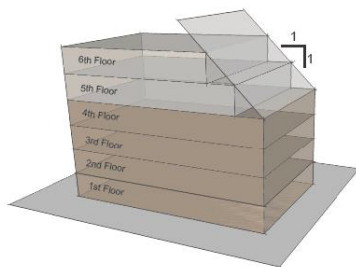
- A. Building planes extending above four (4) stories shall be less than 50% of the total building facade along the street,



Or

- B. Buildings greater than four (4) stories shall step back the building plane at a 1:1 ratio along the street façade. For every foot above the maximum permitted building height, the building plane may extend upward one foot for every additional foot setback.

Building Setback Over 4 Stories



17.05 Architectural Standards

17.05.01 Façades: Building facades facing a publically accessible street or other public space shall incorporate the following design standards:

- A. Buildings may have up to 3 different types of façades:
1. The primary façade is the side of the building which faces the public street and which contains the building's primary pedestrian entrance.
 2. The secondary façade is the side of the building which faces a public street and which may contain additional pedestrian entrances.
 3. All other façades are those which do not face a public street.
- B. **Façade Variation:** Buildings shall have architectural features and patterns that provide visual interest while supporting a clear and unified image throughout the development and shall include:
1. Building façades shall be constructed parallel to the street frontage to the greatest extent possible.
 2. Secondary façades shall be treated with the same design and materials as the primary façade.
 3. Purposeful variation or accents in materials, textures and colors are required.
 4. Horizontal and vertical divisions such as banding and repetitive window patterns.

5. Primary and secondary façades shall include clear delineation between the first or second level and the upper levels with a cornice, canopy, awning, balcony, arcade or other architectural feature.
 6. The mass of the building shall be reduced by changing building planes through offsets and recesses, changing the building heights and varying the parapet or roof heights.
 7. All building façades shall have perceivable, repetitive features and patterns such as windows, columns or other vertical features.
 8. All building façades shall avoid long and monotonous wall and roof planes. Windows and doors are to front onto the street, with direct pedestrian access to the street front sidewalk.
 9. Blank walls and non-transparent windows are prohibited along pedestrian areas and public spaces to help provide for pedestrian comfort, security and points of interest.
 10. For large projects, each sequential block of new construction shall contain unique building facades so as to encourage architectural variety within large projects. While the use of similar architectural elements on multiple buildings is acceptable, large visually monotonous projects with repeating exterior building design(s) does not contribute to visual diversity and human-scale character and therefore is inappropriate.
- C. Building Materials:** Building materials shall be in harmony with the rest of the development to create a sense of place and attraction with the surrounding community. The following material standards apply to all structures, including parking structures, in the district:
1. Permitted building façade materials include: brick, natural stone, cast stone architectural precast stone, glazed curtain wall and window wall systems, architectural precast concrete and architectural- grade metal panels (galvanized, painted or ornamental).
 2. Wood: Porches, balconies, breezeways, pergolas, deep eaves, eyebrows, corbels, trellis and other features are encouraged to be made of wood with a natural finish which generally should not exceed ~~120%~~ of the major ~~any~~ façade.
 3. All other materials not mentioned in 17.05.01(C)(1) and (2) above shall be a compliment or an accent application not to exceed 10% of building facade.
 4. The use of clear or lightly tinted colored glass (30% maximum tint) is required.
 - a. Spandrel (opaque) glass is permissible only to hide the structural features between the floors of a building.
 - 4.5. Large uninterrupted expanses of a single material are prohibited.
 5. ~~Spandrel glass is permissible only to hide the structural features between the floors of a building.~~

Commented [jms1]: Need to discuss if this needs to be added or not.

Formatted: Indent: Left: 1.3", Numbered + Level: Numbering Style: a, b, c, ... + Start at: 1 + Alignment: Aligned at: 2.05" + Indent at: 2.3"

6. Vinyl or aluminum siding and colored or mirrored/reflective glass is prohibited.
- D. **Building Color:** Building colors shall be in harmony with the rest of the development to create a sense of place and attraction with the surrounding community. The following color standards shall apply to all structures, including parking structures:
 1. Building materials colors (brick, stone, tile, precast stone) shall be subtle, neutral and nature blending.
 2. Colors for other manufactured building materials (not listed in 17.05.01(D)(1) above) shall be subtle and neutral and shall be compatible with the field colors identified in Figure 17-2.
 - a. Stark white and black are prohibited as field colors. ~~(place in table)~~
 3. Building accent colors, including awning and canopy colors, should complement the primary materials and colors used on the building. Accent colors are limited to no more than 10% of each separate façade and shall be compatible with the colors identified in Figure 17-2.
 4. Generally no more than four colors as regulated in 17.05.01(D)(2) and (3) are allowed per building ~~(including all materials)~~.
 5. Corporate branding colors are permitted on ~~logos and~~ signage.

Figure 17-2 Permissible Field Colors					
Select Benjamin Moore - America's Colors Palette					
AC-1	AC-8	AC-15	AC-22	AC-29	AC-36
AC-2	AC-9	AC-16	AC-23	AC-30	AC-37
AC-3	AC-10	AC-17	AC-24	AC-31	AC-38
AC-4	AC-11	AC-18	AC-25	AC-32	AC-39
AC-5	AC-12	AC-19	AC-26	AC-33	AC-40
AC-6	AC-13	AC-20	AC-27	AC-34	AC-41
AC-7	AC-14	AC-21	AC-28	AC-35	AC-42
Permissible Accent Colors					
Select Benjamin Moore – Color Preview Palette					
Benjamin Moore Color Preview Series 2049-10 through 2174-70 <u>Designer Classics Series</u> .					

Formatted Table

Commented [jms2]: Upon further review Staff recom the allowance of all colors listed in this series as a field col

E. Building Fenestration: Fenestrations (windows and doors) should maximize the views and allowable daylight into spaces.

1. For all street level/ground floor ~~uses-facades~~ located along public streets and other public spaces, ~~64~~0-90% of all wall areas ~~between two (2) and twelve (12) feet~~ shall consist of transparent glazing (clear windows and doors). Upper floors fronting public rights-of-way shall consist of 30-70% ~~windows~~ transparent glazing (windows).

a. Glazing as regulated above is required to be at least two feet (2') above final finished grade and percentage calculations shall stop at twelve feet (12') in height.

~~1-2.~~ Fenestrations shall be spaced thirty (30) linear feet maximum between features.

3. Ground floor restaurants are encouraged to provide windows and doors that can be opened to provide direct access to the sidewalk when weather permits.

NEED GRAPHIC ILLUSTRATION

F. Pedestrian Entrances:

1. All buildings shall have their main pedestrian entrance opening to a street, courtyard garden or square. When street level uses have entries from more than one street or from other public spaces, the primary entrance will be from the street.

2. A pedestrian entrance is required to access public spaces which adjoin the building.

3. Retail and restaurant uses with exterior ground level visibility along a street or public space shall have individual public entries from the street or public space in addition to internal entries.

4. Street level retail and restaurant uses located on building corners shall locate entrances at the corner.

5. Buildings adjacent to existing or planned trails, open spaces or parks shall provide ~~public~~pedestrian entries along the façade fronting these amenities.

6. All Enterances shall provide shelter from inclement weather.

G. Roofs: Roof lines should have visual interest and features complementing the overall character of the building and the development.

1. Rooftop penthouse enclosures should be architecturally compatible and predominantly of the same material as the building.

2. Single-sloped shed roofs, mansard or vaulted/arched roofs are prohibited.

3. Flat roofs shall be concealed from pedestrian view with a parapet wall.

4. Publicly visible roof materials shall be standing seam metal, asphalt shingles, shakes or tile.

5. Publicly visible plumbing vent stacks shall be colored to match the roofing

Formatted: Indent: Left: 1.3", Numbered + Level:
Numbering Style: a, b, c, ... + Start at: 1 + Alignmen
Aligned at: 1.25" + Indent at: 1.5"

material.

6. "Green" roofs utilizing plants to absorb rainwater and reduce ambient air temperatures are strongly encouraged.
7. Rooftop amenities such as sun decks are encouraged.

H. Mechanical/ Service Equipment & Solid Waste Enclosure Screening: All properties shall minimize the visual impact of mechanical/ service equipment and solid waste facilities from the public right-of-way.

1. Service areas, storage areas, restaurant grease receptacles and refuse enclosures should be oriented away from public view and screened from public areas.
2. Service and refuse areas are encouraged to be clustered together where feasible at the rear of the building.
3. Solid waste and recycling enclosures and all other waste storage or containers, other than streetscape and site furnishing trash receptacles, shall be designed into a structure or building, or shall be screened from adjacent public streets by an opaque enclosed structure (see detail in UDO Subsection 22.13.03) compatible with the building architecture.
 - a. Additional landscape plantings compatible with the overall landscape plan may be required outside of the enclosures to soften the appearance from public view.
4. Utility cabinets and pedestals should not be located within parking lot landscape islands or the public right-of-way where they cannot be screened, are exposed to damage from vehicles and/or present a hazardous visual obstruction to drivers or pedestrians.
5. Meter boxes shall not be located along the ~~front of buildings~~primary facade and screened if located on the ~~side of a building~~secondary facade.
6. Ground level mechanical equipment shall be screened by a structure that complements the design of the building through the use of similar materials, colors, finishes and architectural details.
 - 1.a. Additional landscape plantings compatible with the overall landscape plan ~~shall~~ may be required outside of the structure to soften the appearance from public view.
- 6.7. All rooftop mechanical equipment should be screened from view from adjacent properties and adjacent right-of-way by use of parapet walls ~~or screens~~ architecturally compatible and predominantly of the same material as the building ~~designed to be compatible with the building architecture.~~
- 7.8. Elevator and stair penthouses shall be screened by a structure that is architecturally compatible with the design of the building through the use of similar materials, colors, finishes and architectural details used on the primary building façade.

Formatted: Indent: Left: 1.3", Numbered + Level: Numbering Style: a, b, c, ... + Start at: 1 + Alignment: Aligned at: 1.55" + Indent at: 1.8", Tab stops: Not

17.06 Landscape Standards

17.06.01 Landscaping promotes sustainable development, ~~minimizing~~ minimizes negative impacts on natural resources and is vital to softening the harshness of paved areas and buildings while enhancing a sense of place.

17.06.02 Compliance

- A. All plant material must comply with Appendix B, Guide for Landscaping. All plant material must comply with the latest edition of the American Standard for Nursery Stock published by the American Nursery and Landscape Association.
- B. Plant material must be locally adaptable species and hardy to Zone 6 in accordance with the US Department of Agriculture's Plant Hardiness Zone Map and comply with the Town of Boone Approved Plant List in Appendix B.
 - 1. Xeriscaping and water conservation landscaping is an encouraged alternative. The practice of Xeriscaping includes the use of native grasses, low-water need plant material, and the addition of soil amendments and mulching. Refer to the plant list in Appendix B for a list of Xeriscaping compatible plant material.
- C. Necessary pruning and trimming shall be in accordance with UDO Section 31.12.04, Prohibited Pruning, and must be done in strict accordance with the current edition of "Tree, Shrub, and other Woody Plant Maintenance – Standard Practices" of the American National Standard for Tree Care Operations (ANSI 300).
- D. All plants and materials fulfilling the landscape requirements shall meet the following minimum installation sizes and types:
 - 1. Large deciduous shade trees shall be a minimum three inch (3") caliper with a height of fourteen to sixteen feet (14' – 16') at planting.
 - 2. Small to medium sized deciduous ornamental trees shall be a minimum two inch (2") caliper with a height of ten to twelve feet (10' – 12') at planting.
 - 3. Evergreen trees shall be a minimum of eight feet (8') in height at planting.
 - 4. Shrubs shall be a minimum of twenty-four inches (24") in height and spread at the time of planting.
 - 5. All sodded or seeded lawn areas must be comprised of a Bluegrass/Fescue blend.
 - 6. Mulch shall be dark hardwood three inches (3") in thickness.
 - 7. Landscaping shall not obstruct the views of motorists using any street, driveway or parking aisle and comply with a ten feet (10') by seventy feet (70') sight distance triangle.

17.06.03 ~~Street Yard Landscaping~~ Streetscape Standards

- A. A ~~street yard~~ streetscape consists of a minimum seven and a half foot (7.5') landscaped area parallel to the public ~~right-of-way, typically between the sidewalk and the development~~ street, designed to provide continuity of vegetation along the public realm

and soften the impact of the development by providing a pleasing view ~~form~~ from the street.

- B. The ~~street yard~~ streetscape must contain a combination of the following:
1. ~~An average of one (1) large deciduous tree three inch (3") minimum caliper (unless subject to overhead power lines) per thirty feet (30') of street frontage. Innovative design in tree arrangement is encouraged.~~
 2. ~~An average of one (1) low growing small shrub, ornamental grasses per five feet (5') of street frontage with a minimum of twenty-four inches (24") in height and spread at the time of planting. A minimum 60% of the shrubs must be evergreen.~~
 3. ~~A minimum twenty percent (20%) of the front street streetscape shall be turf and must be sodded. Turf shall be located on the street side of the front street yard streetscape.~~
 4. ~~Seasonal color is encouraged in the front street yard streetscape with an emphasis on the entrance areas.~~
- C. Although no street ~~yard~~ setback is required (0' minimum, 20' maximum build-to-zone), ~~where the building is setback,~~ a ~~front street yard~~ streetscape is required for every development.
- ~~D. Parking areas fronting a street or side street shall be separated from the sidewalk and/or right of way with a ten feet (10') minimum planting yard consisting of a minimum three feet (3') height screen, except where vehicular sight lines may be impaired. Screening should consist of one or more of the following:~~
1. ~~A decorative, opaque masonry wall (2' minimum/3' maximum height) compatible in composition, appearance, color and architectural detail with the proposed building and landscaping.~~
 2. ~~An undulating earthen berm (3' minimum height) and landscaping not exceed a slope of 3H:1V.~~
 3. ~~A continuous hedge row of evergreen shrubs (3' minimum/4' maximum height), shade trees (1/30lf) and groundcover. Understory ornamental trees, small evergreen trees, flowering shrubs, ornamental grasses, and/or perennials must be supplemented for color and visual interest.~~
- ~~E.D.~~ D. The following trees are required based upon location:

Commented [jms3]: Staff recommends modifying the to always require a streetscape.

Street Tree Planting Schedule

Street Tree	Species	District Street
'Allee' Lacebark Elm	<i>Ulmus parvifolia</i> 'Allee'	Deerfield Road
'Hightower' Willow Oak	<i>Quercus phellos</i> 'QPSTA'	State Farm Road/Longvue Road
Bald Cypress	<i>Taxodium distichum</i>	Furman Road
'October Glory' Red Maple	<i>Acer rubrum</i> 'October Glory'	Doctors Drive/Kimberly Drive

'Panache' Shumard Oak	<i>Quercus shumardii</i> 'QSFTC'	Birch Street
Alternate Compliance Ornamental Trees		
(for use only with existing overhead power lines as main street tree with approval from Urban Design Specialist)		
Street Tree	Species	
'Forest Pansy' Redbud	<i>Cercis Canadensis</i> 'Forest Pansy'	
'Kwanzan Cherry	<i>Prunus serrulata</i> 'Kwanzan'	
Kousa Dogwood	<i>Cornus kousa</i>	

17.06.04 Interior Landscaped Areas

- A. Landscaped areas other than ~~street-yards~~ streetscapes, must meet the following standards must be met:
 1. Areas must be a minimum of eight feet (8) in width.
 2. A minimum of five (5) ~~large~~ deciduous ~~trees~~ per one-hundred feet (100') of linear landscaped area length, or more based on the need to provide additional trees to meet tree canopy coverage requirements.
 3. A minimum of two (2) ~~small~~ deciduous/ornamental ~~trees~~ per one-hundred feet (100') of linear landscaped area length, or more based on the need to provide additional trees to meet tree canopy coverage requirements.
 4. A minimum of eight (8) ~~large~~ evergreen ~~trees~~ per one-hundred feet (100') of linear buffer length.
 5. A minimum of twelve (12) ~~shrubs~~ per one-hundred feet (100') of linear buffer length.
- B. Required buffers shall not be disturbed for any reason except for open/public spaces, driveway openings or connectors, pedestrian or bike paths, designated greenways, utilities, drainage ways, bio-retention areas, walls, fences, and other passive or minor uses compatible with the general separation of land uses and provided that the total number of required plantings are still met.

17.06.05 Foundation Landscaping

- A. Vehicular surface areas shall be separated from building facades by both a five ~~feet~~ foot (5') minimum foundation planting area and pedestrian walks leading to building entrances.
- B. This area shall contain small ornamental and evergreen trees, low growing shrubs (minimum 60% evergreen), ornamental grasses, ground cover, turf or combination thereof complimentary of the architectural façade and shall sufficiently mass the landscaped area.

17.06.06 Tree Pit/Plaza Landscaping

- A. A minimum six ~~(6)~~-foot by six (6' x 6') foot opening, clear of utilities, shall be provided for all trees.
- B. Root barriers shall be provided for all tree plantings.
- C. Tree grates or other approved devices shall be provided around all trees in hard surfaced areas to ensure adequate water and air penetration.
- D. Structural soils are encouraged within tree pit areas.

17.06.07 Parking Area Landscaping

- A. To break up large expanses of parking and to provide shading, landscaping shall be installed in and around parking areas. Required plantings shall be located within or adjacent to parking areas, in parking islands, medians, at the end of parking bays, or between rows of parking.
 - 1. Landscape islands are required so that no parking space is more than fifty feet (50') from the trunk of a large deciduous tree.
 - 2. Shrubs shall be planted at the rate of one (1) eighteen inch (18") minimum height evergreen shrub, deciduous shrub or ornamental grass per every two-hundred-fifty square feet (250 ft²) of vehicle surface area.
 - 3. Parking islands shall be planted as to facilitate safe sight distances.
 - 4. Shrubs shall not be planted within six feet (6') of a trunk of a new tree, nor within the drip line of a protected/preserved tree.
 - 5. Planting islands within parking areas shall be a minimum of ten feet (10') in width and two-hundred-fifty square feet (250 ft²) protected by curbs, bollards, wheel stops, walls, etc.

17.06.08 Tree Canopy Preservation and Planting Requirements

- A. Preserving trees and the overall tree canopy can improve the aesthetic quality of the site and Town as a whole, provide environmental benefits, and mitigate the impacts of development on the community. In addition to compliance with UDO Section 31.13, a Tree Canopy Preservation Plan must be provided demonstrating the following requirements:
 - 1. Every parcel shall retain existing trees or provide new trees to equal thirty percent (30%) tree canopy coverage.
 - 2. The plan must show pre and post development canopy calculations and trees by common and botanical name, size, quantity, and health of tree(s) and tree canopy coverage provided by each tree. Canopy coverage is the area beneath the drip line of the existing trees on the lot/parcel. For onsite trees if the canopy extends into a neighboring property, credit for that portion of the canopy may also be taken. Canopy coverage can only be credited from healthy trees or stands of trees.

3. Credit for newly planted trees shall be calculated as follows:
 - a. Large Deciduous Tree – 620 square feet of canopy coverage
 - b. Small Deciduous Tree – 225 square feet of canopy coverage
 - c. Large Evergreen Tree – 250 square feet of canopy coverage
 - d. Small Evergreen Tree – 100 square feet of canopy coverage
4. When calculating how much existing tree canopy coverage is already present on the parcel, you may multiply this by 1.25. This additional credit is to encourage the preservation of existing tree canopy.

17.07 Parking Standards

17.07.01 Except as provided herein, development within the WD district shall meet the standards in Article 24 Parking.

17.07.02 Vehicular Parking:

- A. All parking serving the site and counted toward minimum parking requirements shall be located on the site or within 1,200 feet of the building entrance if located off-site.
- B. Parking between the public street and the building is not permissible.
 1. Exceptions: no more than one bay of parking is to be permitted to avoid large expanses of parking separating the building from the sidewalk.
- C. Wellness District Education Use Minimum Parking Requirements:
 1. Instructional Labs / Classrooms: 4 spaces/classroom
 2. Lecture Halls: 1 space/3 seats
- D. Parking Reductions: In order to promote a pedestrian-oriented, human-scale, urban form and multi-modal access, parking reductions are allowed as provided below. The permit issuing authority may adjust the minimum/ maximum number of parking spaces required when one or more of the following is applicable:
 1. The Planning Administrator may approve parking reductions for live-work developments or residential units specifically designated for Wellness District business.
 2. A 10% reduction in the number of required parking spaces for businesses oriented to pedestrian traffic.
 3. A 10% reduction in the number of required parking spaces for developments located adjacent to a public greenway system with pedestrian/ bike linkages and designated bicycle parking areas.
 4. A 20% reduction in the number of required parking spaces is permitted for developments located along a public transit line with designated transit stops

located within a walking distance of 1,320 feet and operating service from 6:00 AM to 6:00 PM where service intervals are no longer than 15 minutes during peak commute hours.

5. To limit the amount of impervious surfaces dedicated to parking on each lot, shared parking is encouraged. A shared parking analysis prepared by a registered licensed professional transportation engineer in North Carolina using the Urban Land Institute (ULI) Shared Parking Model (latest edition) or a study showing excessive, unused parking by one owner to be shared with another owner must be submitted. A written agreement between property owners acknowledging the number of shared parking spaces must be submitted and agreed to by the permit issuing authority.
 6. A parking study, prepared by a licensed professional engineer, illustrating that the required parking ratios do not accurately apply to a specific development.
 7. If the number of required off-street parking spaces cannot be reasonably provided on the property associated with the principal use, then spaces may be provided on adjacent or nearby lots, satellite parking lots may be located up to a half-mile (0.5 mi) from the principal use building if served by a transit line, shuttle, or located along a dedicated pedestrian sidewalk or greenway trail. Written permission from the owner/person responsible for the satellite parking spaces must be provided. The applicant shall provide written acknowledgement that continuing the validity of his permit depends on his continuing ability to provide the requisite number of parking spaces.
- E. Parking Structures: Parking structures are strongly encouraged to consolidate parking, and to encourage walking and better utilization of the land.
1. Parking structures are encouraged to be located at the interior of a block or under buildings, not visible from the public right-of-way. Ground floor commercial uses, or space adaptable for future commercial use, are encouraged to be integrated into the structure located along the public street.
 2. Parking structures shall not have exposed structured parking at the ground floor level along street frontages.
 3. If parking structures are located along the public right-of-way, building setbacks, scale, height requirements and architectural design standards are applicable with trees and foundation plantings installed to soften the parking structure façade.
 4. Parking structures should be designed so ramps are hidden from view of the street or public right-of-way.
 5. Structures should be constructed of the same building materials as the district buildings.
- F. Drive-Through Facilities:
1. Non-restaurant drive-through are allowed but shall be approved by the Community

Appearance Commission.

2. Drive-through and stacking lanes shall not be located along facades facing a public street.
3. Drive-through and pick up windows shall be placed to the side or rear of buildings and screened.
4. Architectural elements, landscaping and/or other screening elements shall be used to minimize the visual impacts of the drive-through facility.
5. Screening shall be a minimum four (4) foot height wall compatible with the building architecture, material, color and details or a continuous compact evergreen hedge (36" minimum height at the time of planting reaching 48" minimum height within three years).
6. The design and location of the facility shall not impede vehicular flow or pedestrian movement and safety.
7. Drive-through and pick-up window canopy materials, design and color shall be the same as the primary building.

G. Loading/ Unloading Areas:

1. Loading and unloading areas are regulated by Section 24.08.
2. Loading and unloading activities are not permitted in the public right-of-way unless specifically designated by the Town.
3. All loading/unloading areas shall be located to the side or rear of buildings and shall be screened from public view.
4. Screening shall be a minimum four (4) foot height wall compatible with the building architecture, material, color and details or a continuous compact evergreen hedge (36" minimum height at the time of planting reaching 48" minimum height within three years).
5. Loading and unloading activities may not encroach on or interfere with the use of sidewalks, drive aisles, stacking spaces or parking areas.

17.08 Streets, Driveways, Sidewalks and Greenways

17.08.01 Except as provided herein, streets, driveways and sidewalks shall meet the standards set forth in Article 23.

17.08.02 Driveways

- A. Site access drives shall be consolidated and located across from intersections with other streets and driveways for the safety of motorists and pedestrians.
- B. Developments are required to provide drive aisles to the edge of the property in order to provide for future cross-access between sites.

- C. Sites are required to provide cross-access easements between properties for circulation.
- D. Driveway crossing should maintain the same elevation of the sidewalk. The appearance of the sidewalk (scoring pattern or special paving) should be maintained across the driveway to indicate that though a vehicle may cross, the area traversed by a vehicle remains part of the pedestrian travel way.

17.08.03 Sidewalks

- A. Sidewalks meeting the requirements of UDO Section 23.08 are required along the entire length of any abutting street.
- B. The fee-in-lieu provisions contained in Section 23.08.05 shall not apply.

17.08.04 Greenways

- A. Applicants are required to provide a greenway in the locations as set forth in the b.Well Section Plan of the Middle Fork Greenway Master Plan.
- B. Greenway construction shall follow the design requirements as set forth in Appendix A of the Town of Boone Pedestrian and Bicycle Plan.

17.09 Signs

17.09.01 Except as provided herein, signs are regulated in Article 26.

17.09.02 All signs must be shown and approved on a master plan [for each development](#), which shall indicate, sign size, location, lighting and copy (if available). All subsequent sign approvals for the development must be in compliance with the master plan.

17.09.03 Signs shall be limited to two (2) colors plus the background color. This does not apply to federally registered trademarks.

17.09.04 Sign copy on two-faced signs shall be identical on both sides.

17.09.05 Changeable copy is not allowed.

17.09.06 Sign lighting is limited to .3 foot-candles above ambient lighting.

17.09.07 Standards set forth in UDO Section 26.12 Shopping Centers and Malls, Section 26.14 Home Occupation Sign, and Section 26.15 Exceptions and Modifications do not apply within the WD.

17.09.08 Building Identification Signs: Buildings are permitted to have building identification wall signs subject to the regulations below.

- A. Each building is allowed one (1) wall sign per each primary and secondary facade.
- B. Building Identification Signs may not exceed .025% of the entire building façade for which the sign is to be located.
 - 1. Minimum size allowed regardless of building façade area is 24 square feet; and

2. Maximum size allowed regardless of building façade area is 120 square feet.
- C. Sign copy is limited to the name of the building and shall not contain the name or logo of any tenant or business.
- D. Building identification signs are not limited to their location on the building façade.
- E. Lighting for a building identification sign is limited to back-lighting or down-lighting.

17.09.09 Attached Sign(s): Each ground floor tenant/business is allowed one attached sign for each primary and secondary façade which contains a pedestrian entrance subject to the regulations below:

- A. Attached signs as permitted herein are not permitted above the ground floor/street level of each building.
- B. An attached sign must be located on the portion of the building which is occupied by the tenant/business the sign is for.
- C. Attached signs which encroach into the public right-of-way are required to obtain an encroachment agreement.
- D. The bottom of an attached sign shall be located at a minimum height of nine feet (9') from the adjacent finished grade.
- E. Wall
 1. A wall sign shall not project more than twelve inches (12") from the building façade.
 2. The size of a wall sign is limited to the tenants'/business' linear building frontage along the primary or secondary façade (as applicable).
 - a. The wall sign is limited to one square foot of sign area per linear foot of building frontage.
 - b. The maximum permitted square-footage of a wall sign is eighty (80) square feet regardless of linear building frontage.
 3. Lighting for a wall sign is limited to internal illumination or down-lighting.
- F. **Canopy/Awning**
 1. Canopy and awning sign copy shall not exceed twenty-five percent (25%) of the canopy or awning with a maximum of forty-eight (48) square feet of copy area regardless of the size of the awning.
 2. Sign copy on a canopy shall be located on the valance.
 3. Canopy and awning lighting is limited to down-lighting.
- G. **Projecting**
 1. A projecting sign shall be mounted and perpendicular to the building façade.

2. A projecting sign shall not exceed twenty-four square feet (24 ft²) in area.
3. Lighting for a projecting sign is limited to internal illumination or down-lighting.

17.09.10 Monument Sign

- A. The only freestanding sign other than directional signs allowed within the WD is a monument sign, which can be a two-faced sign that has a base at least seventy-five percent (75%) of the horizontal width of the sign and the base of the sign must be located directly on the ground.
- B. The size of the monument sign shall be twenty-five square feet (25 ft²) for the first fifty feet (50 ft.) of street frontage plus .75 square feet for each additional foot of street frontage to a maximum sign face area of 70 square feet.
- C. Monument sign heights are limited to five feet (5') as measured from finished grade to the top of the sign structure.
- D. Copy of the monument sign is limited to the building name/address and/or commercial tenants within the building.
- E. Monument sign lighting is limited to internal illumination or down-lighting.

17.09.11 Directory Sign(s)

- A. Each building entrance which allows access to a building, not a specific tenant/business, is allowed to display a directory sign.
- B. The directory sign must be building mounted adjacent to the building entrance.
- C. A directory sign is limited to no more than twenty square feet (20 ft²).
- D. Directory sign lighting is limited to down-lighting.

17.09.12 Directional Signs: Directional signs to direct traffic flow and to locate entrances and exits shall be permitted subject to the following:

- A. Directional signs must be shown and approved on all site plans, which shall indicate, sign size, location and copy.
- B. Directional signs shall not exceed four square feet (4 ft²) in area and three feet (3') in height above grade.
- C. Logos, names and advertising are not permitted on directional signs.

17.10 Lighting

17.10.01 All light fixtures, including wall packs, shall be Dark-Sky Compliant LED full cut-off (FCO) fixtures to reduce energy usage, light pollution and prevent glare for pedestrians, motorists, tenants and adjacent properties.

17.10.02 Lighting shall be designed and located so the maximum illumination measured shall not exceed one half (.5) foot-candle at the property line and two (2.0) foot-candles measured

at the right- of-way line of a street.

17.10.03 A lighting photometric plan with point-by-point foot-candle array measured horizontally at grade and a description/cut sheet of proposed fixtures, lamps, reflectors and poles shall be submitted for all site lighting permits. The plan shall provide for uniform site lighting to avoid hot spots and/ or unsafe low light levels.

17.10.04 Light fixtures within parking areas shall be twenty-five (25) feet maximum height.

17.10.05 Pedestrian light fixtures shall be located along pedestrian walks and within thirty (30) feet of a building with a maximum height of eighteen (18) feet.

17.10.06 Light fixtures and poles shall have a black finish.

17.10.06 Lighting under vehicular canopies shall be less than ten (10) foot- candles and designed to prevent off-site glare.

17.10.07 Service connections for all site lighting fixtures shall be installed underground.

17.10.08 Cobra-head type fixtures, flickering, rotating, flashing, strobing or search lights and wood poles are prohibited.

17.10.09 Exemptions: Lighting of the United States of America or State of North Carolina flags, public monuments, architectural accent features, landscaping, art and holiday lightings may be directed upward, provided the fixture is located, aimed or shielded to prevent glare and minimize light spill into the night sky.

17.10.10 Other lighting standards within Subsection 25.05.03 not modified herein still remain in effect.

Definitions:

Primary Façade

The façade which faces the public street and which contains the building's primary pedestrian entrance.

Secondary Façade

The façade which faces a public street and which may contain additional pedestrian entrances.

Amenity Zone

An area parallel to a public street which includes but is not limited to: pedestrian lights, street furnishings, landscape materials, bus shelters and similar items.

Pedestrian Zone

An area parallel to the public street which contains public sidewalks or similar public pathways.