

**Town of Boone
Historic Preservation Commission Quasi-Judicial Meeting
3:00 PM, May 13, 2025
Planning & Inspections Conference Room
680 W. King St., Suite C
Boone, NC 28607**

The public may attend the meeting in person at the Planning and Inspections Conference Room at 680 West King Street, Suite C, or online via WebEx, a video conferencing software.

Public Comment: To give public comment, you should appear in person at the physical location of this meeting. Persons who attend the meeting remotely via WebEx may be permitted to speak during public comment but are not assured of that opportunity.

WebEx Participation: To join online or by phone, email Planning and Inspections at planning@townofboone.net or call 828-268-6960, and you will receive an email invitation. Requests must be submitted no later than one hour before the meeting begins.

- I. Call to Order**
- II. Adoption of Agenda**
- III. Public Comment**
- IV. Case A25-0213 Mellow Mushroom - Certificate of Appropriateness**
 - 1. Case A25-0213 Exhibit 1: Staff Report
 - 2. Case A25-0213 Exhibit 2: Narrative
 - 3. Case A25-0213 Exhibit 3: Paint Colors
 - 4. Case A25-0213 Exhibit 4: Shutter Removal
 - 5. Case A25-0213 Exhibit 5: Current Photo
- V. Case A25-0215 Chai & Chutney - Certificate of Appropriateness**
 - 1. Case A25-0215 Exhibit 1: Staff Report
 - 2. Case A25-0215 Exhibit 2: Description of Work
 - 3. Case A25-0215 Exhibit 3: Exterior Images
 - 4. Case A25-0215 Exhibit 4: Roof Plan
 - 5. Case A25-0215 Exhibit 5: Historical Documents
- VI. Case A25-0216 Shoppes at Farmers - Certificate of Appropriateness**

1. Case A25-0216 Exhibit 1: Staff Report
2. Case A25-0216 Exhibit 2: Description of Work
3. Case A25-0216 Exhibit 3: Elevation Plan
4. Case A25-0216 Exhibit 4: Building Plans
5. Case A25-0216 Exhibit 5: Material Description
6. Case A25-0216 Exhibit 6: Existing Photos
7. Case A25-0216 Exhibit 7: Historic Photos

VII. Review of Quasi-Judicial Training with Town Attorney

VIII. Approval of Meeting Minutes

1. April 8, 2025, Historic Preservation Commission Advisory Meeting Minutes

IX. Other Matters - For Information

1. Certified Local Government Fiscal Year 2023-2024 Reporting
2. Statement of Conformity Report

X. Adjournment



Staff Report

May 13, 2025

Case A25-0213 Mellow Mushroom - Certificate of Appropriateness for Major Work

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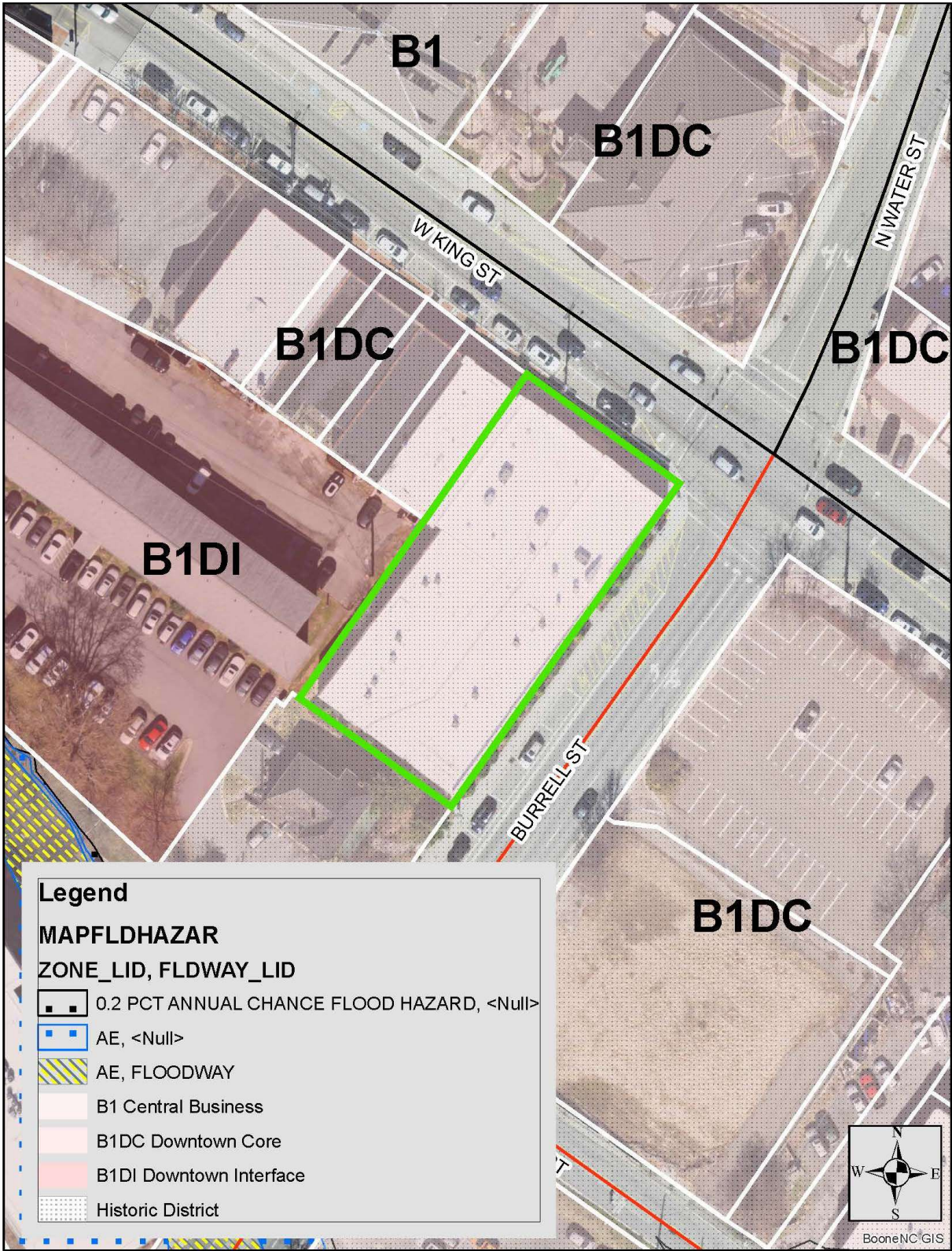
Request

LD&B of Boone, LLC has submitted an application for a Certificate of Appropriateness for Major Work for 805 W King St (WT0878 Sebastian Building), located in the Downtown Boone Local Historic District. The request includes changing the paint color of the trim around the windows and along the lower roof trim to Sherwin-Williams (SW) 7515 Homestead Brown and the upper roof trim to SW 9610 Stony Creek, and removing the blue plastic shutters from the east elevation. The subject property is outlined in green on the Zoning Map included below.

The Table of Minor Work and Major Work, located in both UDO Article 8, Subsection 8.05.03 and Appendix D, requires the applicant to obtain a (COA) for any painting other than in-kind re-painting of a previously-painted surface.

Staff Notes can be found throughout the report marked in **bold green italicized text**.

Zoning Map



Parcel Information

Address:	805 West King Street
Property Owner:	L D & B of Boone, LLC
Watauga County Pin:	2900-79-5599-000
Lot Size (Total):	0.36 ac
Jurisdiction:	Town Of Boone
Access:	West King St (State maintained) and Burrell St (Town maintained)
SFHA:	No
Watershed District:	No
Corridor District:	No
NCD:	No
Viewshed:	No
Steep Slope:	No
Current Zoning:	B1 Downtown Core with Downtown Boone Local Historic District Overlay The B1 Downtown Core, together with the B1 Downtown Interface District encompass the Town of Boone’s downtown area and represent, in large measure, the remaining vestiges of the Town’s historic character. Regulations in these districts are intended to preserve and maintain a small town, high country atmosphere. Preservation and adaptive reuse of existing historic buildings are encouraged and new construction shall be appropriately scaled to be sympathetic to the existing built environment. Design and regulatory standards for these districts reinforce the character of the downtown as a pedestrian friendly area by encouraging architectural solutions that are visually interesting, and are compatible in scale and character to the surrounding area. To help accomplish this, the area is divided into two (2) districts, each with its own character and scale which contribute to the overall vitality of the downtown area. Identification of the districts is listed below: 1. B1 Downtown Core District: The Downtown Core District is the center of the downtown area and contains the greatest concentration of historic commercial buildings. This district establishes a continuous building facade at the street frontage to strengthen the identity of downtown as a pedestrian destination where pedestrians feel comfortable through the careful selection of building materials, human scale design, and ground floor fenestration. Standards in this district reinforce the historic nature of the existing built environment through regulation of appearance, height, scale and mass. 2. B1 Downtown Interface District: The Downtown Interface District serves as a gateway into the downtown area and as the transition between the B1 Downtown Core District and adjacent zoning districts. Development in this district must be sensitive to issues of compatibility with the Downtown Core District as well as surrounding zoning districts, many which are low-density residential.

Staff Note: The Downtown Boone Local Historic District is an overlay district, which is a district that overlaps, in this case, the B1 Downtown Core, and contains standards in addition to the underlying general use district zoning standards. Where requirements conflict, overlay district standards supersede.

Zoning & Use of Adjacent Properties		
	Adjacent Zoning	Adjacent Land Use
North	B1 Downtown Core with Downtown Boone Local Historic District Overlay	5.16 Government Facility (Watauga County Administration)
East	B1 Downtown Core with Downtown Boone Local Historic District Overlay	1.15 Multi-Family Dwelling in Mixed Use, 31-100 bedrooms (Marketplace)
South	B1 Downtown Core with Downtown Boone Local Historic District Overlay	11.06 Restaurants ≤ 3500ft ² (The Pasta Joint)
West	B1 Downtown Core with Downtown Boone Local Historic District Overlay	11.14 Business or Professional Office (Eggers Law)

Recent Zoning History

- 03-25-2025** A zoning permit was issued for exterior painting of the building. The project plan is to paint the previously painted exterior with the same matching colors, Sherwin Williams 9173 Shiitake and Sherwin Williams 7519 Mexican Sand.
- 03-27-2025** An application for a Statement of Conformity was filed to remove the non-historic shutters from the building. Upon review it was determined that the shutter change is on a contributing building and needed to be included with the COA process. The Statement of Conformity will only cover the sign changes.

Zoning Analysis (B1 Downtown Core)

The following UDO requirements are required to be met for the proposed project, unless superseded by any requirements of the Downtown Boone Local Historic District overlay.

The current occupant, Mellow Mushroom (restaurant), has a current zoning permit for in-kind exterior painting to repaint the previously painted surface with a matching color; this work does meet the standard requirements listed below. The proposed changes to the paint color are for the trim around the windows and along the lower roof line to SW 7515 Homestead Brown and the upper roof line to SW 9610 Stony Creek. The Homestead Brown paint color is a close match to Benjamin Moore's HC-68 Middlebury Brown paint color, as the UDO references the Benjamin Moore Historical Collection series in UDO Subsection 14.19.06(I)(11)(b)(iii). The selected Stony Creek paint color is similar to Benjamin Moore's HC-166 Kendall Charcoal paint color. All paint color choices have a light reflection value below 60, meeting UDO Subsection 25.06.05(A)(1)(a). The removal of the shutters would be compliant with current appearance standards as detailed below.

UDO References to Appearance Standards: Within UDO Article 14 for the B1 Downtown Districts, Design Standards for Renovation of Existing Buildings, Subsection 14.19.06(I)(11)(a)(iii) states: Paint color should be similar to the original color of the field material, the existing painted color of the field material, or a color from the Benjamin Moore Historical Collection series or equivalent.

UDO Subsection 14.19.06(I)(11)(b)(iii) states: When previously painted brick or stone trim, such as window lintels or sills must be repainted, paint color should be similar to the original color of the field material, the existing painted color of the field material, or a color from the Benjamin Moore Historical Collection series or equivalent.

UDO Subsection 14.19.06(I)(11)(b)(iv) includes that: all other cornices, doors, door and window trim, awnings, canopies, and kickplates can be any color.

UDO Article 25, Community Appearance Standards, in Subsection 25.06.05(A)(1) requires that the Light Reflection Value of field colors must be below 60.

Architectural Survey/Designation Report Information

The following three documents are central to the Downtown Boone Local Historic District:

1. [Comprehensive Architectural Survey of Downtown Boone, NC – Final Report](#)
2. [Report and Recommendation for the Designation of the Downtown Boone Local Historic District, Boone, NC](#)
3. [Downtown Boone Local Historic District Standards](#)

The designation report (#2 above), was created using the architectural survey of the downtown area (#1 above) and recommended the Downtown Boone Local Historic District area be designated as a historic overlay district; and the Downtown Boone Local Historic District Design Standards, which are outlined in a separate document (#3 above), are to be applied by the HPC when it considers applications for Certificates of Appropriateness for proposed development within the historic district.

Inventory Classification

The following information has been taken from the designation report starting on page 69. The property inventory found within the report was specifically written to assess the contributing significance and integrity of the district's resources. Integrity, as determined was based upon the following:

1. design integrity, meaning the building's relationship to its original appearance or altered appearance during the period of significance;
2. material integrity, meaning the building's relationship to original materials during the period of significance or replacement materials that mimic the appearance of original materials during the period of significance;
3. locational integrity, meaning the building's relationship to its original location during the period of significance;
4. integrity of association, meaning the building's relationship to its original or adapted use, function, and purpose during the period of significance; and

5. integrity of relationship to the district as a whole, meaning the building's historical importance to the development of downtown Boone's commercial district during the district's four periods of growth within the period of significance (1918-1964).

Inventory Classifications:

- CA:** Contributes to the character of the district based on architectural significance
- CH:** Contributes to the character of the district based on historical significance related to events or individuals associated with the property
- NC:** Non-contributing property
- VL:** Vacant lot

Designation Report

The Designation Report summary is included on the right (in blue), and the full Architectural Survey summary is included below.

Staff Note: The subject property is classified as CH. CH means the property contributes to the district based on historical significance related to events or individuals associated with the property.

Architectural Survey

WT0878 Sebastian Building (1931/1947/Circa 1967)

805 West King Street

Originally home to the Lovill Law Office frame building by the early twentieth century, this site has seen what amounts to three related, one-story, brick and block buildings constructed here since 1931. The first followed the Reverend G. W. Sebastian's purchase of the northeast part of the property from the People's Bank and Trust in 1926 (Deed Book 36, Page 44). In October 1928, the old Lovill Law Office was moved from its original site to the western part of this lot and turned so that its gable end faced King Street (Watauga Democrat, October 4, 1928). Three years later, notice appeared in the Watauga Democrat that Sebastian was planning "a large business house" of "brick veneer" for the southeast corner of South Water and Main Streets (July 2, 1931), and by October, the building consisted of "two large store rooms" built personally by Reverend Sebastian, with the interior completed by Bert Greene (Watauga Democrat, October 29, 1931). It's not clear who the early tenants were, but the Boone Feed Company occupied at least part of the building prior to August 1934, when the Watauga Emergency Relief Administration moved its offices to that same space (Watauga Democrat, August 30, 1934). Two years later, the offices of the Sugar Grove National Farm Loan Association and Rich Mountain Mortgage Company occupied the building (Watauga Democrat, March 5, 1936, and October 15, 1936). Their stay was short-lived, however, given that Boone Motor Sales, the local Ford dealership, moved into the building in December 1936 (Watauga Democrat, December 10, 1936).

Over the next twenty years, the 1931 part of the building was home to a procession of auto dealerships. W. R. Winkler's Buick dealership was here for a time

WT0878 Sebastian Building (additions in 1947 and circa 1967) - CH

805 West King Street (2900-79-5599-000)

Originally the site of the Lovill Law Office, this lot became home to Reverend G. W. Sebastian's one-story, brick-veneered, commercial block building with basement in 1931. The new building, which occupied only the northeastern portion of this lot, was sufficiently large to accommodate two storefronts facing King Street. The original appearance of the north elevations of these storefronts is not documented. Original tenants are not known either, but after a handful of farm-related businesses in the mid-1930s, the building found its footing as the home to a car dealership, Boone Motor Sales, in 1936. During this period, the old Lovill Law Office stood immediately to the west, having been moved there prior to construction. In 1947, W. R. Winkler, who by that time owned the property and operated Watauga Sales and Service there, completed an addition to the west, with the Lovill Law Office moving south on the lot so that it faced what is now Burrell Street. In 1961, a large fire gutted the original east portion of the property but did not significantly damage the west annex. Sometime between 1964 and 1972 (probably about 1967), Winkler demolished the Lovill Law Office and completed the third, brick and concrete block portion of the building to the rear of the two buildings facing King Street. At some point before 1997, the entire north elevation was then parged and a large, tri sectioned awning was added to the façade of both buildings.

(Continued onto next page.)

(Watauga Democrat, May 4, 1939), and it was likely the rear of his business that was visible in a circa 1940 image (Dav-Wyk-01-008) that was taken from the sidewalk in front of the 1889 Watauga County Jail (WT0067) to the south. This image shows two nearly identical buildings with similar configurations standing side by side with a firewall dividing the two buildings (both grouped together by name as the “Sebastian Building”). The west half of the building was somewhat wider than the east part, and the south elevation of each half of the building was clad in brick on the first floor with a concrete foundation at the basement level. Each half had a centrally located, wooden door with six upper lights, flanked on either side by six over-six, double-hung sash, wooden windows with brick rowlock sills. The foundation level showed three square, boarded over piercings. To the west of the building was the old Lovill Law Office that had formerly stood where the Sebastian Building now was, moved onto the west part of the lot and, as described above, turned so that the gable end faced King Street. This configuration is confirmed by the 1940 high aerial image of Boone (Agr-Ext-1940-9B 76). About this same time, Winkler began consolidating ownership of the parcels that presently make up this property, starting with the Sebastian Building in 1940 (Deed Book 52, Page 336), the parcel to the south of the Sebastian Building in 1944 (Deed Book 57, Page 379), and the parcels to the west of these in 1945 (Deed Book 60, Page 297).

WT0878 Sebastian Building (additions in 1947 and circa 1967) - CH

805 West King Street (2900-79-5599-000)

In 2010, local architect David Patrick Moses again redesigned the north elevation for the present tenant. The present piercings of the north elevation bear little resemblance to earlier iterations, and while it is possible that portions of the original facades survive behind the present cultured stone and weatherboard design, there has also been a vast loss of original material. The building nevertheless represents the changing history and uses of downtown buildings from Boone’s boom period, including the use of infill to expand extant businesses.

By 1946, the dealership was known as Watauga Sales and Service, still under the ownership of W. R. Winkler (Watauga Democrat, March 28, 1946, and April 10, 1947). On September 25, 1947, the Watauga Democrat reported that Watauga Sales and Service was “putting finishing touches on [a] new building on West King.” This appears to have been when the old Lovill Law Office was moved once again, this time so that the law office was to the south of the Sebastian Building and the gable end faced South Water Street. The new building, representing the west portion of this property sandwiched between WT0879 and the Sebastian Building, did not appear on the June 1947 Sanborn map of Boone but was clearly visible in the 1950 aerial images by Palmer Blair (Pal-Bla-02-002 and Pal-Bla-02 004). George C. Greene then purchased the dealership in 1949 and changed the name to Greene Buick in 1953 (Watauga Democrat, June 25, 1953). In October 1957, Greene Buick moved to a new building near Perkinsville, and Burgess Antique Shop moved into the Sebastian Building and its west annex (Watauga Democrat, November 14, 1957). About this same time, the Boone Bargain Shop, a used clothing store, rented the old Lovill Law Office, which still stood behind the Sebastian Building (Watauga Democrat, September 12, 1957).

In February 1961, a large fire that began on the Water Street side of the basement gutted the Sebastian Building. The west annex does not appear to have been damaged, given that Burgess Furniture staged a fire sale the following week in that building (Watauga Democrat, February 16, 1961, and February 23, 1961). A photograph accompanying the fire sale coverage offers the best early view of the north

elevation of the two buildings. The brick-clad Sebastian Building, for example, had two large piercings, within which were window and entrance arrangements that were probably modifications of the original shopfront configurations. The east piercing was divided into three sections, one of which may have been a doorway originally, with a divided clerestory window spanning over the main shop windows. The west piercing was similar, except that a single doorway with a transom was positioned to the west side of the piercing. The annex building, meanwhile, had a large, garage bay at its east end, in which was set a roll-up garage door. At the center of the elevation was a single, wooden door with a transom, and to the west of this was a large, multi-light window that was either steelcase in design or had bars behind the window. The brick veneer on the annex was of a darker hue than that on the Sebastian Building. By 1969, when a photograph was snapped for the *Rhododendron* showing the building tenant as Roten's Furniture (Vaughn Roten had long managed Burgess's before that), the clerestory windows of the Sebastian Building had been covered with signage, while the annex's garage bay had been filled with a double-light, plate glass window with signage spanning the top of the piercing. A low, brick bulkhead supported the new storefront window, and a brick cheek wall spanned the eastern half of the Sebastian Building as the adjacent sidewalk declined with the grade to the east.

Sometime between 1964 (Boone high aerial, Agr-Ext-1964-1FF-148) and 1972 (Bob-Bre 02-136), Winkler had the old Lovill Law Office demolished (undated Historic Boone image) and added the third building to the south of the Sebastian Building and its annex. Heilig Meyers Company of North Carolina purchased the entire complex in 1981 (Deed Book 215, Page 736), operating a furniture building on the corner for many years. At some point before 1997 (Boone Cultural Resources Department image), either Winkler or Heilig Meyers parged the north elevation and added a large, tri-sectioned awning that spanned all but the easternmost section of the elevation. This awning was clad in wooden shingles in 1997 but later clad in metal roofing (2006 report on the redesign of WT0806). Heilig Meyers sold the building to Roger Wright and Kenneth Wilcox in 2001 (Deed Book 647, Page 33), who now maintain ownership of the site under the King Street Ventures, LLC, name. In 2010, local architect David Patrick Moses redesigned the north elevation for a new tenant, Mellow Mushroom, which remains there today (Mountain Times, September 2, 2010). The rest of the building, now called Boone Hall, is home to student apartments managed by the Winkler Organization.

Today, the complex is uniformly a one-story, brick and brick block complex with a basement level as the grade falls to the south. The roof on the building is flat and rubber. The north elevation of the building displays an arrangement that is a drastic alteration from previous appearances. The north elevation can be divided into five bays. The first, third, and fifth bays are clad in cultured stone on the bottom portion of the elevation following a line with grade oriented to the west end of the building, with weatherboard above this cultured stone. The first (eastern) bay contains a large, single, metal-frame, plate glass window with a wood trim surround above the cultured stone line. Additional wood trim defines a frieze board just below a prominent cornice treatment. The roofline is coped in metal. The third (center) bay features a central, double door, metal-frame entrance with a spanning transom and a prominent shed-style, bracketed awning clad in standing seam metal covering the entrance. This entrance is surrounded with wood trim above the cultured stone line. Long, nearly full-length, single, fixed, plate glass windows are found at the east and west extremes of the bay, also surrounded with the trim treatment previously described. The frieze board and cornice treatment is repeated in this bay as well. The fifth (west) bay is largely featureless, aside from the repetition of the frieze board and cornice treatment. The upper reaches of the walls of each of these three bays serve as stunted parapets. The second and fourth bays are fully clad in cultured stone and extend as raised parapets above the adjoining parapet roofline. The second (more easterly) bay includes a large opening at ground level containing a shopfront configuration of a single, metal frame door set to the right, with transom above, while a full light, metal-frame window

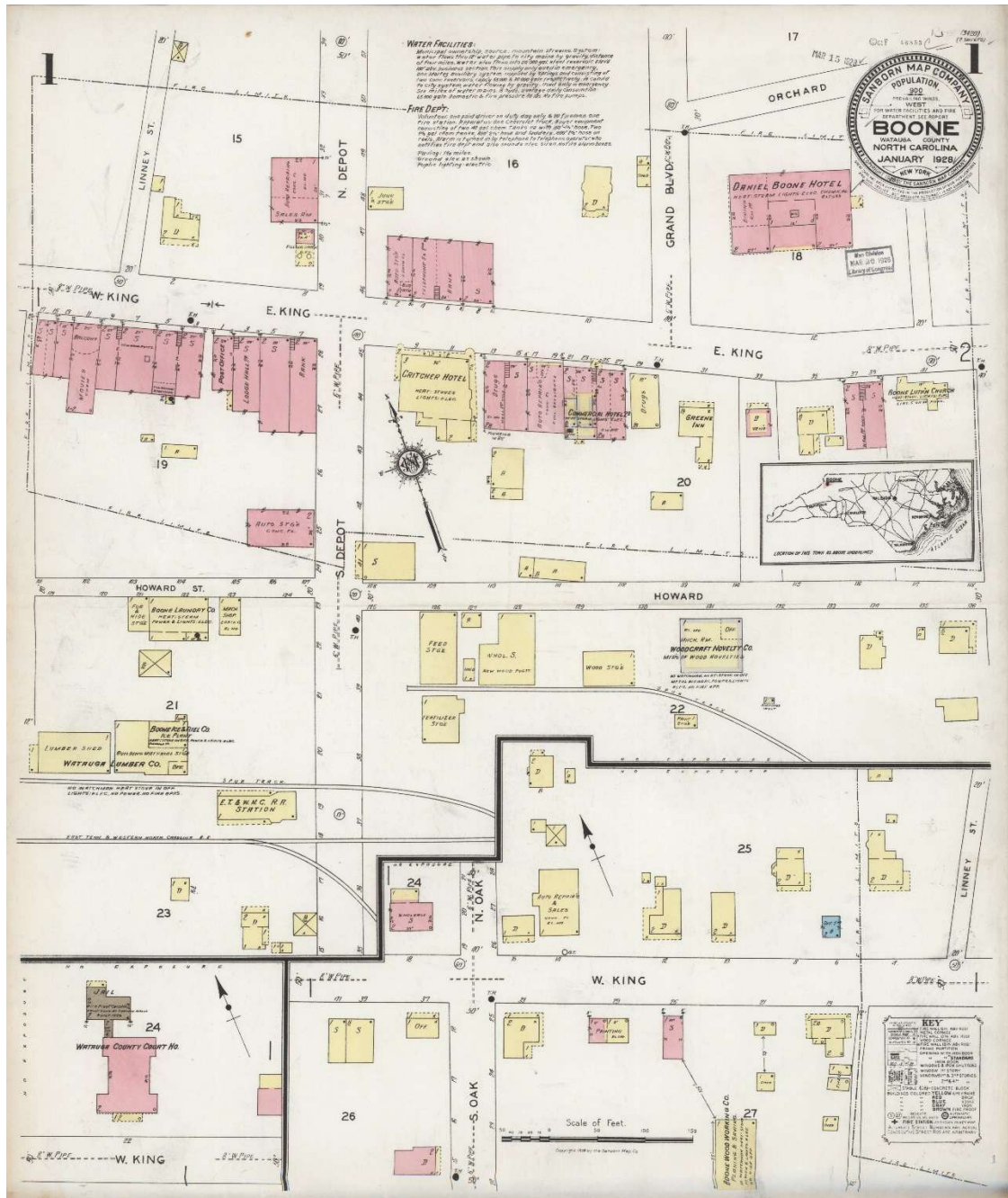
adjoins to the left of the opening, with a small transom light above. This entire opening features an intriguing basketweave lintel of cultured stone. An identical storefront entrance with identical lintel is found on the face of the fourth (more westerly) bay as well. Both the second and fourth bays feature a prominent, wood, cornice treatment with metal coping. Access to this fourth bay entrance is slightly below grade, necessitating a cultured stone retaining wall with metal balustrade between the entrance well and the public sidewalk. It is not known whether any of the original piercings or façade treatments of the Sebastian Building and its annex survive beneath the present configuration.

Moving from north to south, the east elevation briefly continues the cultured stone and weatherboard treatment as a wrap from the north elevation onto the east elevation, where it terminates abruptly. The frieze board and cornice treatment, however, continue for the full length of the east elevation, stepping down dramatically about halfway along the east elevation of what was the original Sebastian Building, its original, multi-stepped parapet having been obliterated sometime after 1984 (Bob-Bre-02-142). The east elevation is essentially divided into six bays now, three to the north of the old seam on the rubber roof dividing the Sebastian Building from the third building to the south, and three to the south of this line (which falls just to the south of the east elevation entrance to Boone Hall). Below the frieze board trim, however, the walls of this elevation are painted brick, but curiously, no seam is visible in the brick along this east elevation to demarcate the two buildings, suggesting that the present brick is a veneer treatment applied when the south addition was completed. The first floor elevation of the first (northernmost) two bays contains a complex, fixed, six-light, metal-frame window grouping in each bay, each surrounded by wood trim and featuring a window configuration favoring a larger, center section and smaller, flanking sections. The third bay repeats this window pattern on the first floor (now above grade), while a basement entrance is visible below this window. This basement entrance may be a former garage bay opening surrounded in wood trim, the opening now partially filled with cultured stone and a single, metal-frame door. The first floor of the fourth bay from the north consists of a single, six-over-six, double-hung sash, vinyl replacement window to the north with a double set of six-over-six, double-hung sash, vinyl replacement windows immediately south of this. Plastic shutters flank both sets of windows. This window pattern is repeated symmetrically on the basement level. This same window pattern is repeated again in reverse at the sixth bay from the north. The fifth bay from the north, meanwhile, includes two single, slightly separated, six-over-six, double hung sash windows with a single shutter to the outside of the bay on each. What may be another former garage bay is visible at basement level between the fifth and sixth bays but has been bricked in.

The south elevation is entirely brick with an accessibility ramp with metal railing leading from the basement-level sidewalk to (and beyond) a metal fire escape staircase that provides access to a first floor, metal door. A similar basement door is found directly below the first floor door and under the metal staircase. The west wall of the addition at the rear of the former Sebastian Building is composed of large brick blocks in a running bond pattern, with terracotta coping clearly visible on the slightly stepped parapet descending to the south. This wall is otherwise featureless aside from some apparent spalling damage.

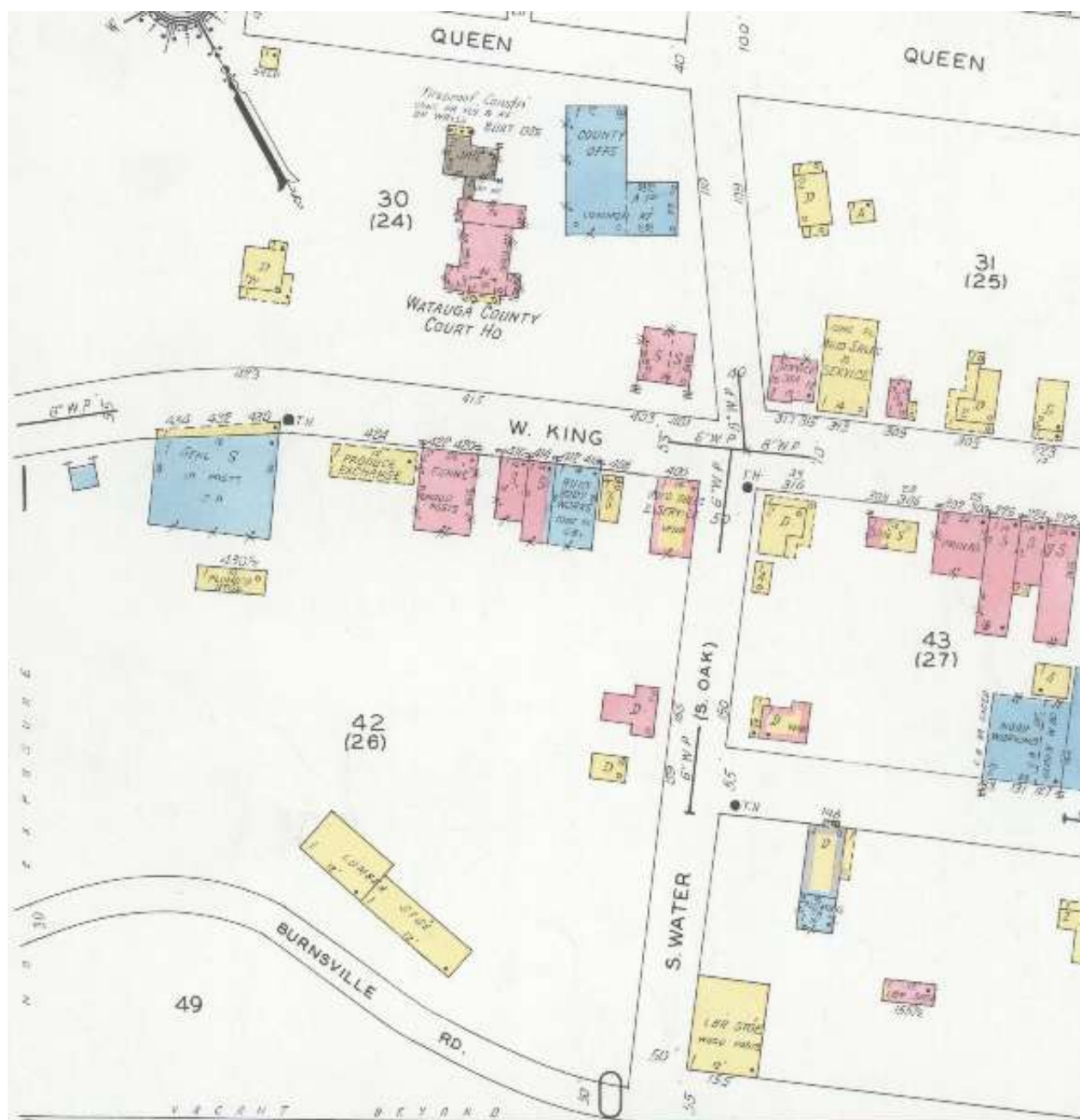
Library of Congress - Sanborn Fire Insurance Maps

The Library of Congress has made Sanborn Fire Insurance Maps from 1928 and 1947 accessible. As these years fall within the historic district's period of significance (1918-1964), these maps will be used when the property in question, or area of the property in question, can be viewed within these maps. The content of the Library of Congress online Sanborn Maps Collection is in the public domain and is free to use and reuse.



Sanborn Fire Insurance Map from Boone, Watauga County, North Carolina. Sanborn Map Company, Jan, 1928. Map. https://www.loc.gov/item/sanborn06383_001/.

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Cropped Image: Sanborn Fire Insurance Map from Boone, Watauga County, North Carolina. Sanborn Map Company, Jun, 1947. Map. https://www.loc.gov/item/sanborn06383_002/.

Downtown Boone Local Historic District Design Standards and Handbook Analysis

Narrative

Relevant design standards from UDO Appendix D, Downtown Boone Local Historic District Design Standards and Handbook, Design Standards for COMMERCIAL/RESIDENTIAL Properties within the District, are outlined below. These Standards for COMMERCIAL/RESIDENTIAL properties are intended to address many of the most common issues to arise during renovations, additions, and new construction in the District. Where the Standards are silent on a particular issue or concern, the HPC will rely upon the Secretary of the Interior's Standards for Rehabilitation to guide their review of the proposed work under the COA process and any subsequent recommendations.

Design Standards for Commercial Properties

"Commercial Property" Defined

A **commercial property** within the District is any property whose purpose-built function at the time of construction was primarily to serve a commercial, institutional, or governmental purpose or use. More specifically, commercial properties include 1) any building whose original configuration included commercial, institutional, or governmental uses on the ground floor accessed via the entrance(s) located on the primary elevation, even if residential spaces were available elsewhere in the building (such as a commercial block building with stores on the first floor and apartments on the second floor), or 2) any building with a garage bay or bays on the ground floor accessed via the entrance(s) located on the primary elevation and commercial, institutional, or governmental spaces located elsewhere in the building (such as a garage building with an office or store located on an upper floor or in the basement).

Any property within the District whose purpose-built function at the time of construction was to serve solely as a residence for long-term (greater than 30 days) occupants, even if the property currently serves a commercial use, is still considered a residential property. For standards for residential properties, please see the "Standards for Residential Properties within the District" section elsewhere in this publication.

1. Storefronts, Upper Facades, Side Elevations, and Rear Elevations

Downtown Boone is dominated by historic properties that reflect the commercial block architecture that was so common and influential during the period from 1910 to 1960 in many American towns and cities. In the case of the District, commercial block development began around 1919 and continued to the early 1960s. Central to this architecture is the importance of the storefront itself, whose familiar architectural details—large display windows, transom bars and windows, clerestory recessed entries, and prominent cornice and corbelling work—frequently signaled to customers not only the function of a business but also the quality of its wares. Many other elements—including projecting, flat awnings anchored to the façade with cables or steel rods, or fabric awnings amounted on metal frames, hinged or unhinged—provided customers with shelter from the elements while window shopping or otherwise enhanced the shopping experience. After 1950, many of these architectural details were removed, either in response to decay of these features or in an effort to "update" a building to the stylistic preferences of a later time. One such example is the Appalachian Theatre on West King Street, whose original Art Deco marquee and structural glass were removed during the late 1970s in response to safety concerns. Other elements—most notably transoms and clerestory windows, as well as the details of upper facades—were simply covered over and may still survive today underneath modern additions to the facades of many of Boone's historic downtown properties in the District.

Similarly, secondary and tertiary elevations of many of Boone's historic commercial properties are vital to the character and integrity of its downtown commercial district. Often, significant side (secondary) elevations are located on corner buildings adjacent to two or even three streets, but sometimes such

details are visible on mid-block buildings separated from nearby buildings by an alleyway or a vacant lot. Many of these buildings retain original fenestration, entrances, brickwork, and/or advertisements (some of the “ghost ad” variety) that contribute in their own significant way to the architectural character of the downtown historic district. Similarly, rear (tertiary) elevations can possess many of these same characteristics and also reveal much about the history of a property because of their frequently utilitarian design intended for the workers, owners, and residents who most often saw these rear elevations.

In an effort to preserve what remains of the District’s historic commercial architecture and encourage the reconstruction or rehabilitation of elements that have been removed or covered over, the standards for storefronts, upper facades, and other elevations are intended to facilitate preservation and reconstruction wherever possible while also addressing new construction and its compatibility with the rest of the District.

- 1.1 Whenever possible, historic storefronts and storefront features such as entrance configurations, display windows, doors, clerestory windows, transom bars and windows, bulkheads, corbelling, cornice work, windows, stonework, stringcourses, structural glass, and other architectural flourishes should be retained and preserved. When repairing these features, retain and preserve in place original elements as much as possible. If repair is not possible, replace damaged elements with materials that match the originals in composition, design, texture, color, and other visual qualities.
- 1.2 When reconstructing an historic storefront, upper façade, or other elevation, use historical research and evidence as the basis for the design. Reconstructed storefronts should incorporate original dimensions, proportions, and architectural elements.
- 1.3 In making changes to storefronts or other elevations to comply with code or accessibility requirements, avoid destroying historic materials and features and select configurations that have minimal intrusion or impact on the character-defining aspects of the property in question.
- 1.4 When original or early storefronts or upper facades no longer exist, are too deteriorated to save, or cannot be reconstructed based on the available documentary evidence, retain the commercial character and any salvageable architectural details through a contemporary design that is compatible with the scale, materials, color, style, design, and texture of the surviving and surrounding historic buildings.
- 1.8 Facade details of side (secondary) and rear (tertiary) elevations should always be retained and preserved if possible. When repairing these features, retain and preserve in place original elements as much as possible. If repair is not possible, replace damaged elements with materials that match the originals in composition, design, texture, color, and other visual qualities. If there is evidence of a rear public entrance that is no longer extant, use historical research and other evidence to reconstruct or provide an equivalent rear entrance whenever possible.

2. Architectural Components and Details

Exterior architectural components, including door and window casings, storefront configurations, cast iron ornamentation, stone relief, cornices, columns, brackets, porch railings, soffits, fascias, roof configurations, trim details, architectural flourishes, and various joinery and surface patterns all contribute significantly to the character and historical integrity of properties located within the District.

Because many of these components are either irreplaceable or very expensive to reproduce, they should be maintained and valued in the same way that one might consider an important family heirloom or expensive antique furniture. In many cases, missing or damaged architectural details can be replaced with like items from salvage yards, antique shops, or mail order companies that specialize in replacement of historic architectural components. If such items cannot be replaced, many construction supply companies stock simulations of period architectural components that are approved by the Secretary of the Interior and the National Park Service as suitable historic replacements. In any event, before replacing any exterior architectural component, property owners should familiarize themselves with the architectural style and historic characteristics of their building to avoid introduction of inappropriate elements.

- 2.1 It is important to preserve character-defining, historical, architectural features of exterior walls, such as cornices, friezes, medallions, sunbursts, brackets, bays, turrets, fascias, quoins, columns, brickwork, string courses, and decorative moldings. Original architectural details should always be retained if structurally feasible, even if portions of the original material are damaged or deteriorated to a point requiring replacement. If original details are missing, design replacement features based on historic photos and other documentation.
- 2.2 It is NOT appropriate to cover or remove rather than repair or replace in kind such features when they are deteriorated. If replacement is necessary, the new materials should match the materials being replaced in composition, design, texture, color, and other visual qualities. Original architectural features that are covered should be uncovered, exposed, repaired and/or restored, and maintained.
- 2.3 It is NOT appropriate to cover or replace historic materials with substitute materials, such as aluminum, vinyl, fiber cement board siding (or similar materials simulating the appearance of wood), or plywood panels. Architectural details that are not appropriate to the historic context and character of a building should never be added. At the same time, property owners should never use details from an earlier period to try to make a building look older than it is.
- 2.4 Historic architectural metals, such as pressed tin, aluminum, and cast or wrought iron, should always be retained. If these items are not repairable due to rust or other deterioration, replacement materials should duplicate the form, details, texture, material, size, shape, color, pattern, and composition of the original. When cleaning of architectural metals is necessary, use the gentlest methods possible, such as water, a gentle, non-caustic soap, and soft bristle brushes.

4. Masonry

Many commercial properties in the District are composed of brick or stone masonry, and it is imperative that original masonry materials—many of which have a weathered appearance reflecting the history of the building—remain preserved whenever possible. For this reason, masonry should never be cleaned unless it is determined that perceived “dirt” is actually accumulated deposits and not the effects of weathering. If cleaning is pursued, always use the gentlest method available, preferably with low-pressure water, a mild, non-caustic detergent, and a natural bristle brush where needed. In addition, while re-pointing is sometimes necessary when mortar is missing or moisture problems have developed, it should only be completed in a manner that avoids smearing the mortar onto the surface of the masonry.

Terracotta, stucco, and concrete are other masonry elements that are occasionally found on historic commercial properties in Boone. In addition, many historic commercial properties feature chimneys,

arches, quoins, lintels, sills, cornices, corbelling, and pediments that are all essential to the historic character of the building in question.

- 4.1 It is NEVER appropriate to paint masonry materials, such as brick, concrete block, cast concrete, or stone, that were historically unpainted, including masonry associated with foundations. If there is historic precedent for painting of masonry in the building's original historic context, it should be completed using colors that can be documented with original historic photographic evidence or analysis of original paint samples.
Removal of non-historic paint from masonry can be challenging and problematic, and doing so requires strict adherence to preservation guidance published by the National Park Service. Generally speaking, such work should be completed by a professional trained in historic preservation methods and using a chemical paint remover specifically intended for masonry and the gentlest application means possible. In some instances, inappropriately applied paints may not be removable without damaging the underlying masonry, so it is always advisable to test removal techniques in an area that is not easily visible to the public. The HPC will provide guidance in such instances on the best approach to addressing unusual paint removal challenges.
- 4.2 Whenever feasible, historic masonry, including decorative masonry features, should be repaired rather than replaced or covered. When replacement is necessary, it should always be completed using traditional materials of like composition, size, color, shape, pattern, texture, and quality to the originals that are being replaced.
- 4.4 Unless there is a specific reason for using waterproof or water-repellent coatings (e.g., brick that has previously been sandblasted, creating a porosity problem), these treatments should be avoided, as they can accelerate deterioration of historic masonry.
- 4.6 Unless there is historic precedent for its use on the building in question, stucco should never be applied to existing masonry walls, as it can trap moisture that accelerates the deterioration of the masonry. If historic stucco is being repaired, the stucco mixture should duplicate the original appearance, color, and texture as closely as possible.
- 4.7 Masonry should never be treated with abrasive stripping methods, sandblasting, or high-pressure water cleaning, as these methods almost always immediately damage the "skin" of the brick and the mortar joints, and they can make the masonry more susceptible to spalling, or flaking of the masonry surface as a result of the introduction of moisture. Masonry should only be cleaned using the gentlest method available, including low-pressure water, soft natural brushes, and, if necessary, non-abrasive, non-toxic chemicals that will not damage the masonry being treated.
- 4.8 All historic masonry architectural features, including cornices, moldings, chimneys, and other decorative flourishes, should be retained as they are essential to the architectural character and integrity of the building.

5. Wooden Elements

Wooden bulkheads below display windows, window sashes, cornices, doors and doorframes, and trim are probably the most common wooden historic materials found on commercial buildings in the District. These wooden design elements are important components of the architectural character and integrity of the District.

Maintaining wooden elements is essential to the preservation of the historic properties on which they appear. In addition to repairing and/or replacing damaged wooden details, it is imperative that a regular maintenance program be in place in order to protect the integrity of historic properties that feature wooden design components. This program should include routine caulking and sealing, cleaning, and painting or staining where appropriate.

- 5.1 The use of artificial siding (vinyl, aluminum, asphalt, asbestos, Masonite, pressboard, hardboard etc.) to cover original wood siding is not permitted in the District because it destroys the integrity of historic properties. Beyond covering up original architectural details, its installation damages the historic materials underneath, and the artificial siding itself often traps moisture that can lead to further damage of the historic materials. Because these man-made materials cover historic natural materials, they can also hide damage caused by termites, carpenter ants, fungi, mold, and other natural invaders. In some very rare instances, some forms of artificial siding may be original to the property. Where this does occur, the original siding material should be maintained and repaired whenever possible.
- 5.2 The original form, details, and materials of exterior wooden features and trim should be preserved whenever feasible. If damage is present, repair using existing historic materials is always preferable over replacement. Where necessary, patching with new wood, the use of epoxy, splicing, consolidating, and reinforcing deteriorated sections should be considered before replacing historic elements. If replacement is necessary, new materials should duplicate the form, details, texture, size, shape, color, pattern, and composition of the historic wooden elements and should be obtained from salvage or antique suppliers. Only the portion that requires replacement should be replaced. The HPC will consider the use of substitute materials ONLY if the preservation of the historic material is not technically feasible, or is no longer available.
- 5.5 Whenever possible, the removal of non-historic artificial siding and trim materials to uncover or facilitate the restoration of original historic wooden details is strongly encouraged.
- 5.6 It is never appropriate to replace historic wooden architectural materials—especially in siding, trim, or window sashes—with contemporary substitute materials such as vinyl or aluminum.

6. Windows, Doors, and Awnings

The arrangement of doors and windows on an historic property is one of the most important elements of building design. It is imperative that these arrangements be preserved in order to maintain the integrity of individual historic properties and the integrity of the District. Because older windows and doors were not always designed with heating and cooling efficiency in mind, it is often tempting to property owners to replace these features with modern doors and windows. Despite the apparent advantages of doing so, replacement with modern doors and windows is often far more expensive than repairing existing historic doors and windows, and their use often completely destroys the integrity of the historic property in question. Furthermore, many companies are now producing “modern” wood replacement windows that replicate the appearance of their historic antecedents with fixed muntins but feature double-pane glass to assist with heating and cooling efficiency. The HPC reviews proposals for the use of modern wood replacement windows carefully to insure that muntin thickness aligns with the muntin dimensions of historic windows.

Boone's downtown commercial historic district has also suffered from the installation of various architectural elements designed to simulate a "mountain village" appearance. These typically consist of large, wooden porch attachments or awnings that are not historically appropriate to the downtown area and its historic context. Metal and modern vinyl awnings have also appeared on some properties, disrupting the integrity of many of Boone's historic commercial properties.

- 6.3 Whenever possible, other original window and door elements, such as sashes, glass, sills, frames, casings, weather-stripping, lintels, architraves, surrounds, and shutters, should be repaired rather than replaced. This includes sidelights and fanlights on both doors and windows, which are vital architectural elements that help identify the style and period of a particular property. Snap-in muntins are not historically accurate and should always be avoided.
- 6.7 If a building did not historically possess shutters, they should not be added. Similarly, historic shutter elements should be repaired and retained. Existing shutters should never be replaced with materials that are not historic to the property (metal, vinyl, or plastic shutters, for example), nor should they be replaced with shutters of a different size or configuration, especially those that do not fit the window opening and are attached to existing siding or masonry.
- 6.8 Shutters should be attached to the window casing, not the siding or masonry, unless the original historic context of the property featured shutters attached to the siding or masonry.

9. Paint and Paint Color

For most of the District's historic commercial properties, which typically were made of masonry and rarely painted, determining historic paint colors, except on trim, ornamentation, windows, original stucco walls, or other architectural details, is usually not a problem. While color chronology tests can help to determine original paint colors (contact the State Historic Preservation Office for assistance), this process is difficult, sometimes inconclusive, and often expensive.

While the HPC does not regulate paint colors in the District per se, property owners are required to submit proposed paint samples as part of any COA application and seek guidance from the HPC and/or the State Historic Preservation Office when considering paint schemes for historic properties. Nevertheless, paint colors and applications must comply with all other general requirements outlined in the Town of Boone UDO. Beyond this, some general standards are applied by the HPC when considering paint in relation to historic properties.

- 9.1 It is NOT appropriate to apply paint or other coatings to unpainted wall materials and surfaces/finishes that were historically left unpainted, including masonry, stonework, wood shingles, stained wood surfaces, and metal.
- 9.2 It is NOT appropriate to use abrasive techniques for cleaning or removing paint from exterior walls and trim, such as sandblasting, high-pressure waterblasting, blowtorching, or other methods that may damage the exterior materials. In general, old paint should not be removed unless there is a compelling reason to do so, such as revealing an obscured architectural detail or correcting a severe peeling or cracking problem in existing paint. Removal of non-historic paint from masonry can be challenging and problematic, and doing so requires strict adherence to preservation guidance published by the National Park Service. Generally speaking, such work should be completed by a professional trained in historic

preservation methods and using a chemical paint remover specifically intended for masonry and the gentlest application means possible. In some instances, inappropriately applied paints may not be removable without damaging the underlying masonry, so it is always advisable to test removal techniques in an area that is not easily visible to the public. The HPC will provide guidance in such instances on the best approach to addressing unusual paint removal challenges.

- 9.3 Select paint colors that are appropriate for the building's architectural style and that are complementary to neighboring buildings. In general, color should function as a method of contrasting among different materials and architectural elements that make up the building. Contrasting colors that accent architectural details and entrances are discouraged, however, except in those cases where this design element was common to the historic architectural style of an existing historic property and there is historic precedent for such accenting.
- 9.4 Wooden porch steps should always be painted to match the color of a wooden porch floor.

Automatic Conditions of Approval

The following conditions are automatically included and a part of any approval.

- Where there is a conflict between the application information and the plans submitted March 25, 2025, the plans control. Insignificant deviations may be permitted to comply with the requirements of the UDO.
- Any commitments and representations concerning the proposed exterior modification made by the applicant or its representatives at the public hearing shall also become a condition of the permit, and a basis for a stop work order and/or permit revocation if violated.
- The applicant shall submit the necessary applications, plans, details and specifications which meet the requirements of the Town Code, UDO, Building Code and any other applicable codes for review and approval necessary to issue Zoning and Building Permits.

Historic Preservation Commission Procedure

In considering this application for a COA the HPC shall base their decisions solely on the basis of competent, material and substantial evidence entered into the record via the application packet and sworn testimony at the public hearing.

When making the motion for approval, the Commission should consider that unless the Commission explicitly orders otherwise, every approval is conditioned upon the development being completed in accordance with the plans submitted by the applicant, the commitments and representations concerning the proposed development made by the applicant and representatives at the public hearing, and final conformity with all requirements of the UDO.

The question before the Historic Preservation Commission is whether or not the proposed development is congruous (i.e., in agreement, in harmony) with the special character of the historic district. If the proposed exterior modification is congruous, the Commission shall issue the requested COA. If the proposed exterior modification is incongruous (not in agreement, not in harmony) with the special character of the historic district, the Commission shall deny the requested COA. The Commission shall approve, approve with conditions, or the deny the COA by majority vote.

Vote: The proposed development ☐ is congruous OR ☐ is incongruous with the special character of the Downtown Boone Local Historic District and is approved subject to the following conditions (as warranted):

1. Conditions:

Criteria for Conditions: The Commission may issue approval subject to reasonable conditions necessary to carry out the purposes served by the historic district (see G.S. 160D-940, 160D-947(a)). The purposes of the historic district are to (i) safeguard the heritage of the town insofar as the Historic District embodies important elements of the town's culture, history, architectural history, and/or prehistory, and (ii) to promote the use and conservation of the district for the education, pleasure, and enrichment of the residents of the town and/or the State as a whole, see North Carolina G.S. §160D-940, 944, 947(a).

Historic Photos

Below is a collection of historical photos of the subject property, obtained through a collaboration with Digital Watauga. The photos are displayed in their original size and resolution, as well as in a cropped version that highlights the main features of interest. For each photo, there is a citation.

Staff Note: *Planning Staff did not alter or edit the photos in any way, but only arranged them in this document for presentation purposes. Photos attached here are the best available with the clearest and most complete images of the subject property. Any commentary on the images is from the Digital Watauga technician(s) who found and sent the images to Planning Staff.*



Image courtesy of the Bobby Brendell Postcard Collection, Digital Watauga Project

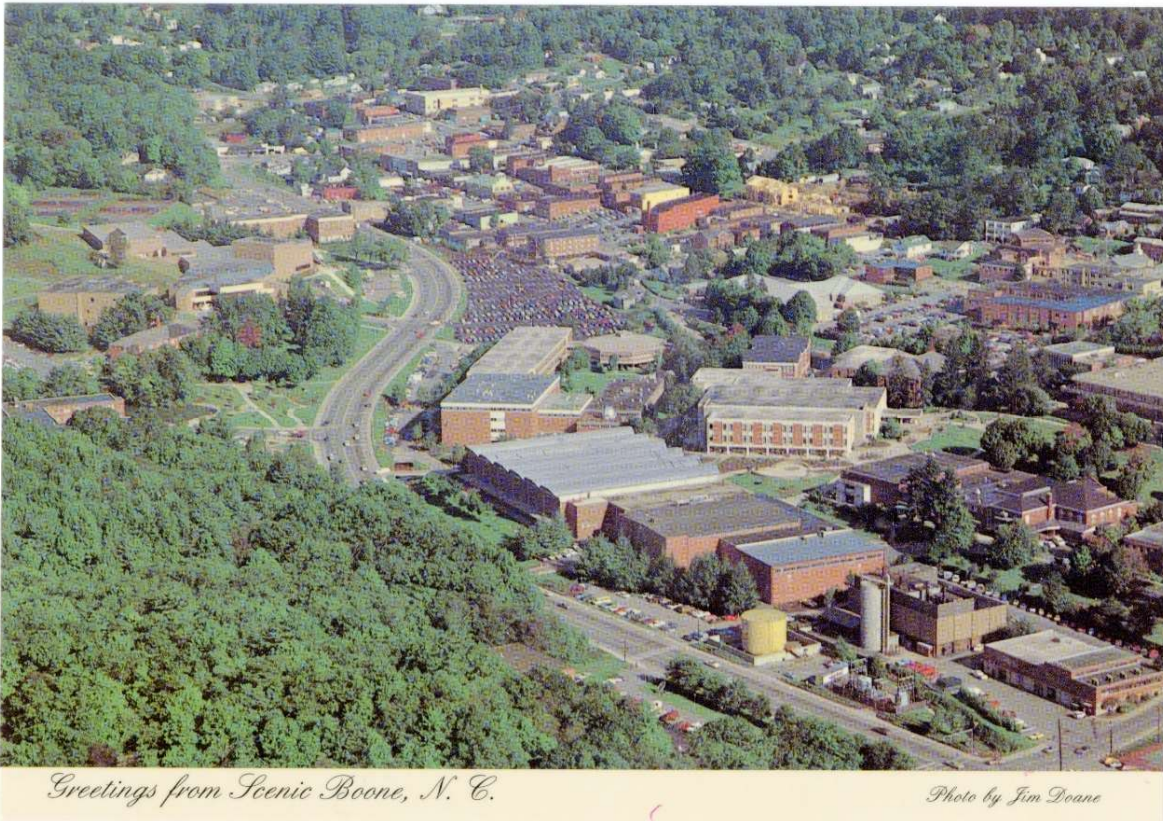


Image courtesy of the Bobby Brendell Postcard Collection, Digital Watauga Project



Image courtesy of the Crayte Teague Collection, Digital Watauga Project



Image courtesy of the Crayte Teague Collection, Digital Watauga Project



Image courtesy of the David Wyke Collection, Digital Watauga Project



Image courtesy of the David Wyke Collection, Digital Watauga Project



Image courtesy of the David Wyke Collection, Digital Watauga Project



Image courtesy of the David Wyke Collection, Digital Watauga Project



Image courtesy of the Downtown Boone Development Association Collection, Digital Watauga Project



Image courtesy of the Downtown Boone Development Association Collection, Digital Watauga Project



Image courtesy of the John Ward Family Collection, Digital Watauga Project



Image courtesy of the John Ward Family Collection, Digital Watauga Project



Image courtesy of the John Ward Family Collection, Digital Watauga Project



Image courtesy of the John Ward Family Collection, Digital Watauga Project



Image courtesy of the John Ward Family Collection, Digital Watauga Project



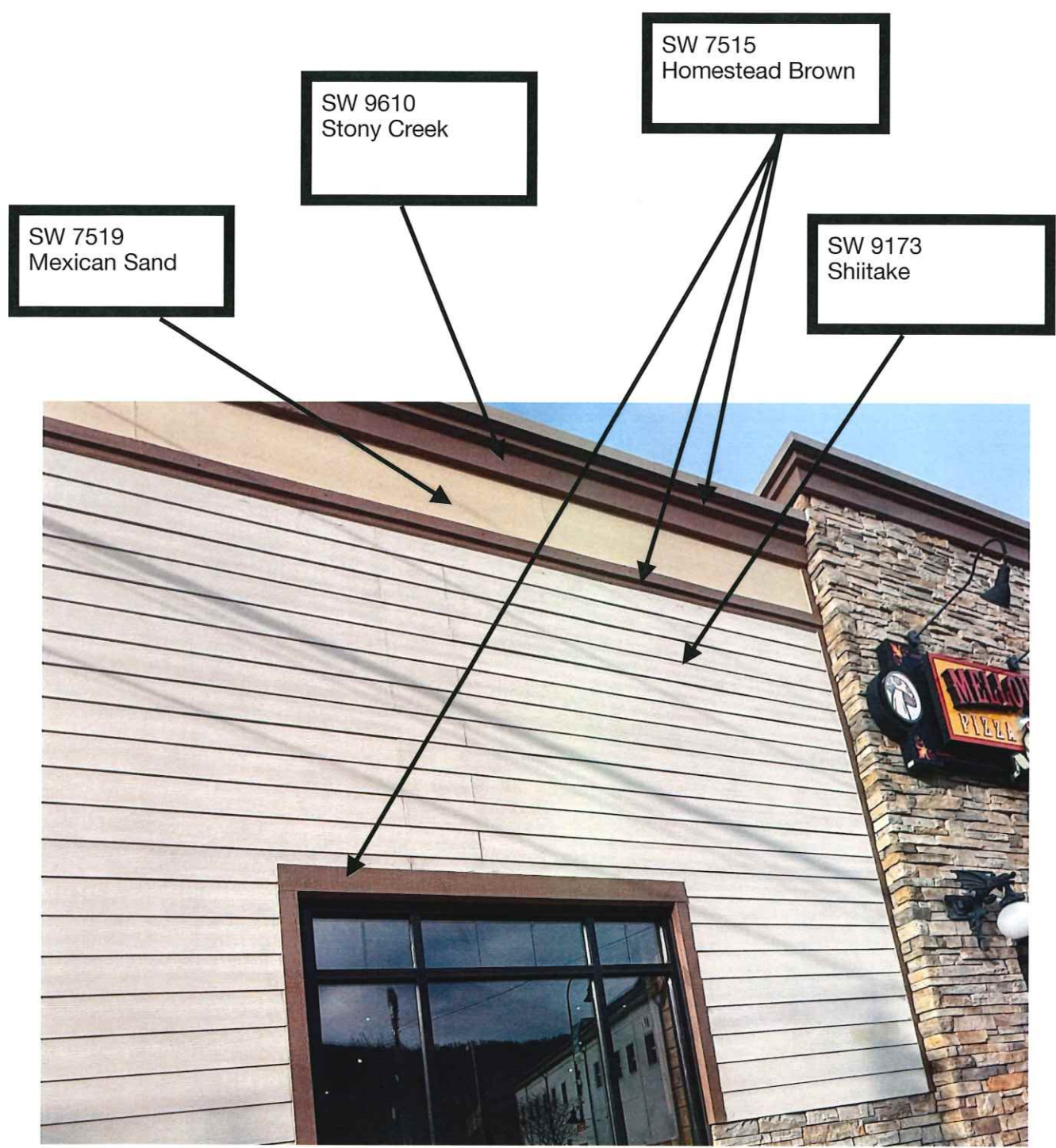
Image courtesy of the John Ward Family Collection, Digital Watauga Project



Image courtesy of the John Ward Family Collection, Digital Watauga Project

Mellow Mushroom / Boone Hall Painting Request

We are wanting to paint the main building colors like for like using Shiitake for the walls, and Mexican Sand for the header. We are requesting a change in color for the trim using Homestead Brown, and Stony Creek. Please refer to diagram for placement.



SW 9173
Shiitake

SW 7515
Homestead Brown

277-C5

SW 9610
Stony Creek

SW 7519
Mexican Sand

288-C4

SW 7515

Homestead Brown

FULL DETAILS 

Get this color in a:



Color Sample



Paint Sample



Interior Paint



Exterior Paint

Middlebury Brown

HC-68

Velvety russet tones add richness to this deep brown.

LRV ⓘ
10.72

Designer Color Collection ⓘ

SW 9610

Stony Creek

FULL DETAILS ▾

Get this color in a:



Color Sample



Interior Paint



Trim Enamel

Kendall Charcoal

HC-166

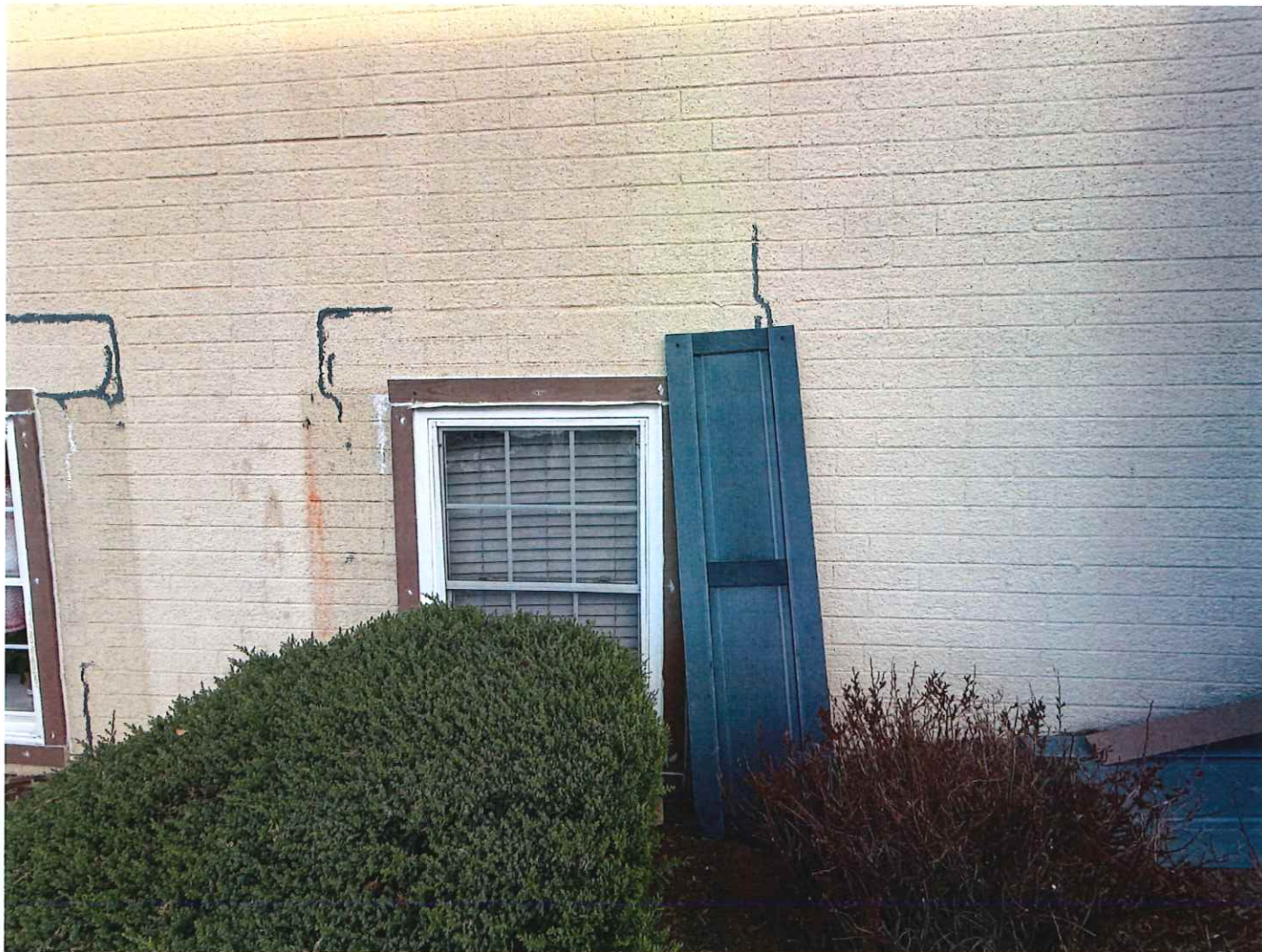
With its rich, varied undertones, this dark neutral works beautifully with a wide spectrum of colors.

LRV ⓘ

14.61

Shutter Removal

In accordance with HPC standards, we are requesting to remove plastic, faux shutters from the building.







Staff Report

May 13, 2025

Case A25-0215 Chai & Chutney - Certificate of Appropriateness for Major Work

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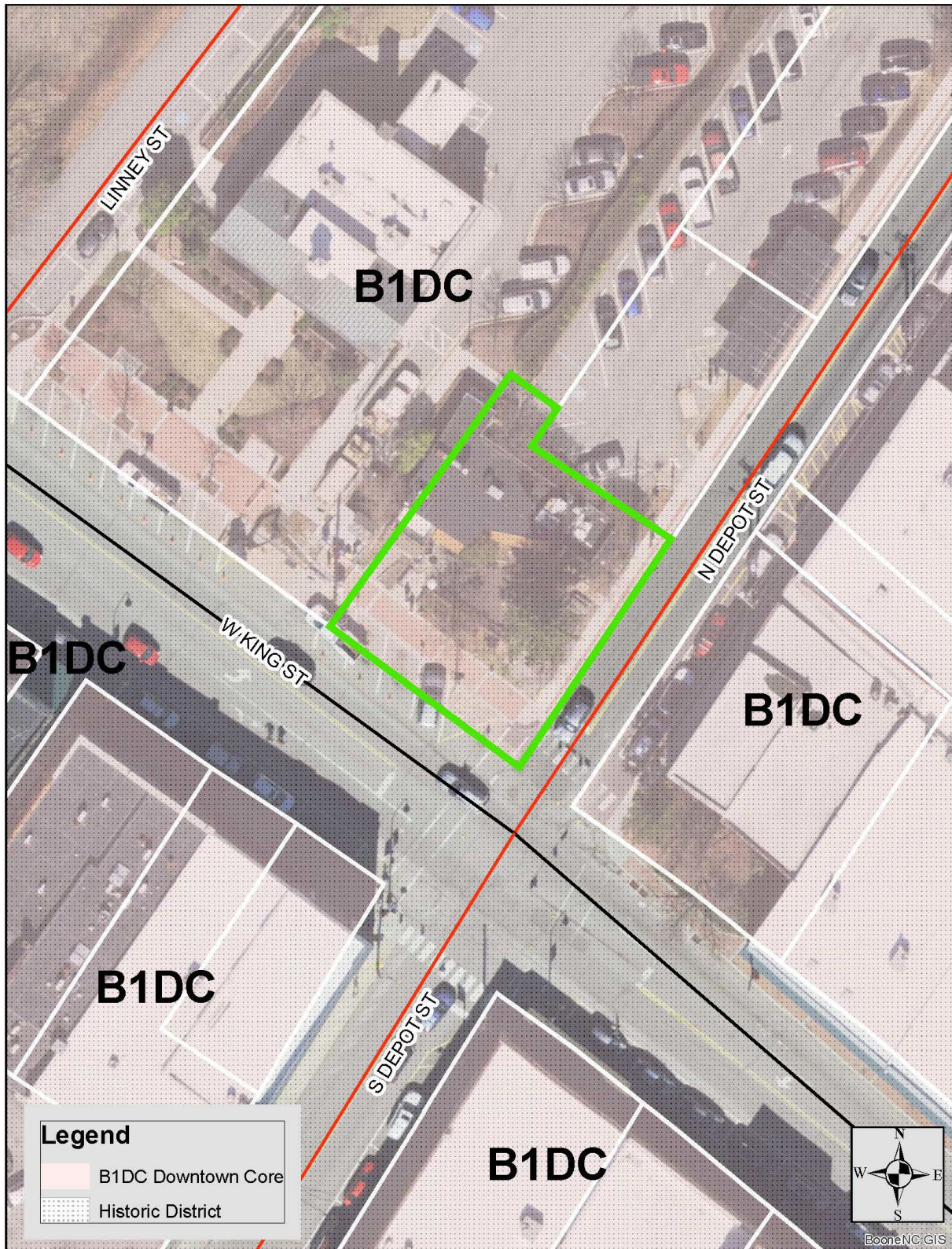
Request

Michael Vetro has submitted an application for a Certificate of Appropriateness for Major Work for 664 West King St (WT0815 Todd and Higgins Esso Service Station), located in the Downtown Boone Local Historic District. The request is to reconfigure the existing rooftop ductwork and exhaust fan for an eight-foot kitchen exhaust hood while simultaneously adding ductwork and an exhaust fan for a new ten-foot kitchen exhaust hood. The subject property is outlined in green on the Zoning Map included below.

The Table of Minor Work and Major Work, located in both UDO Article 8, Subsection 8.05.03 and Appendix D, requires the applicant to obtain a (COA) for alterations and installations of mechanical and related equipment on a roof.

Staff Notes can be found throughout the report marked in ***bold green italicized text***.

Zoning Map



Parcel Information

Address:	664 West King Street
Property Owner:	Michael Vetro
Watauga County Pin:	2900-89-2254-000
Lot Size (Total):	0.077 ac
Jurisdiction:	Town Of Boone
Access:	West King St (State maintained) and North Depot St (Town maintained)
SFHA:	No
Watershed District:	No
Corridor District:	No
NCD:	No
Viewshed:	No
Steep Slope:	No
Current Zoning:	B1 Downtown Core with Downtown Boone Local Historic District Overlay Enter Zoning District information from Article 14, this would be the brief description listed as the first item under each zoning district: The B1 Downtown Core, together with the B1 Downtown Interface District encompass the Town of Boone's downtown area and represent, in large measure, the remaining vestiges of the Town's historic character. Regulations in these districts are intended to preserve and maintain a small town, high country atmosphere. Preservation and adaptive reuse of existing historic buildings are encouraged and new construction shall be appropriately scaled to be sympathetic to the existing built environment. Design and regulatory standards for these districts reinforce the character of the downtown as a pedestrian friendly area by encouraging architectural solutions that are visually interesting, and are compatible in scale and character to the surrounding area. To help accomplish this, the area is divided into two (2) districts, each with its own character and scale which contribute to the overall vitality of the downtown area. Identification of the districts is listed below: 1. B1 Downtown Core District: The Downtown Core District is the center of the downtown area and contains the greatest concentration of historic commercial buildings. This district establishes a continuous building facade at the street frontage to strengthen the identity of downtown as a pedestrian destination where pedestrians feel comfortable through the careful selection of building materials, human scale design, and ground floor fenestration. Standards in this district reinforce the historic nature of the existing built environment through regulation of appearance, height, scale and mass. 2. B1 Downtown Interface District: The Downtown Interface District serves as a gateway into the downtown area and as the transition between the B1 Downtown Core District and adjacent zoning districts. Development in this district must be sensitive to issues of compatibility with the Downtown Core

District as well as surrounding zoning districts, many which are low-density residential.

Staff Note: The Downtown Boone Local Historic District is an overlay district, which is a district that overlaps, in this case, B1 Downtown Core, and contains standards in addition to the underlying general use district zoning standards. Where requirements conflict, overlay district standards supersede.

Zoning & Use of Adjacent Properties		
	Adjacent Zoning	Adjacent Land Use
North	B1 Downtown Core with Downtown Boone Local Historic District Overlay	15.01 Parking Lot (Town of Boone lot)
East	B1 Downtown Core with Downtown Boone Local Historic District Overlay	11.06 Restaurants ≤ 3500ft ² (Drip Coffee/Betty's Biscuits)
South	B1 Downtown Core with Downtown Boone Local Historic District Overlay	11.11 Retail Store up to 5,000ft ² (Shoppes at Farmers Hardware)
West	B1 Downtown Core with Downtown Boone Local Historic District Overlay	4.06 Post Office (USPS), 5.16 Government Facility (Town of Boone Planning & Inspections)

Zoning Analysis (B1 Downtown Core)

The following UDO requirements are required to be met for the proposed equipment, unless superseded by any requirements of the Downtown Boone Local Historic District overlay.

The former occupant, Melanie's (restaurant), relocated their business and the space has a pending request for a building permit on interior renovations for the new tenant, Chai & Chutney. The interior renovation includes adding a new ten-foot (10') exhaust hood in addition to an existing eight-foot (8') exhaust hood that is over 25 years old. This change requires moving the existing rooftop ductwork to a new location on the roof, adding the additional ductwork, and patching the roof as needed. The installation for the new and the alteration of the current mechanical equipment has triggered the need for a COA. Outside of that request, the exterior changes involved within the scope of work for the building permit include: the addition of a new natural gas service line and the removal of the existing propane tanks on the tertiary elevation of the building.

UDO References to Appearance Standards: Within UDO Article 14 for the B1 Downtown Districts, Design Standards for Utilities in UDO Subsection 14.19.06(M)(4)(a) for exterior mechanical and/or HVAC equipment states that the preferred location shall be the roof.

UDO Subsection 14.19.06(M)(5) requires that the installation of any utility shall not obscure or cover windows or any other distinguishing architectural features.

The proposed work is compliant with these standards.

Architectural Survey/Designation Report Information

The following three documents are central to the Downtown Boone Local Historic District:

1. [Comprehensive Architectural Survey of Downtown Boone, NC – Final Report](#)
2. [Report and Recommendation for the Designation of the Downtown Boone Local Historic District, Boone, NC](#)
3. [Downtown Boone Local Historic District Standards](#)

The designation report (#2 above), was created using the architectural survey of the downtown area (#1 above) and recommended the Downtown Boone Local Historic District area be designated as a historic overlay district; and the Downtown Boone Local Historic District Design Standards, which are outlined in a separate document (#3 above), are to be applied by the HPC when it considers applications for Certificates of Appropriateness for proposed development within the historic district.

Inventory Classification

The following information has been taken from the designation report starting on page 69. The property inventory found within the report was specifically written to assess the contributing significance and integrity of the district's resources. Integrity, as determined was based upon the following:

1. design integrity, meaning the building's relationship to its original appearance or altered appearance during the period of significance;
2. material integrity, meaning the building's relationship to original materials during the period of significance or replacement materials that mimic the appearance of original materials during the period of significance;
3. locational integrity, meaning the building's relationship to its original location during the period of significance;
4. integrity of association, meaning the building's relationship to its original or adapted use, function, and purpose during the period of significance; and
5. integrity of relationship to the district as a whole, meaning the building's historical importance to the development of downtown Boone's commercial district during the district's four periods of growth within the period of significance (1918-1964).

Inventory Classifications:

- CA:** Contributes to the character of the district based on architectural significance
- CH:** Contributes to the character of the district based on historical significance related to events or individuals associated with the property
- NC:** Non-contributing property
- VL:** Vacant lot

Designation Report

The Designation Report summary is included on the right (in blue), and the full Architectural Survey summary is included below.

Staff Note: *The subject property is classified as CH.*

CH means the property contributes to the district based on historical significance related to events or individuals associated with the property.

Architectural Survey

WT0815 Todd and Higgins Esso Service Station (1954)
664 West King Street

This one-story, concrete block building sits on the site of a former gas station, Todd's Esso Service, which occupied the lot by 1928, when it first appeared on the Boone Sanborn map as a small, square building along the west side of North Depot Street with a large wooden overhang extending toward King Street. It was originally built in 1924 for F. C. Ward, who opened it in August 1924 (Watauga Democrat, August 28, 1924). By 1940, as seen in a Boone Post Office dedication image (not yet online), the complex included a detached, rectangular building with two garage bays to the west (identified as a "wash rack" in the 1947 Sanborn map). By 1950, when the station was known as "Todd & Higgins Esso" (His Boo-1.14.4), the original structure and the wash rack had been modified into a unified, irregularly shaped building that very much resembles what stands today. However, that structure was entirely demolished in July 1954 and replaced with a building approximating the same footprint (Watauga Democrat, July 8, 1954). When completed later that year, the present building was clad in the porcelain enamel tiles commonly used on service stations during this period. Later tenants included the First Union Bank and a restaurant known as St. Sinners (Watauga Democrat, July 1, 1992). The building is currently home to Melanie's Food Fantasy, a restaurant.

Today, the entire, flat-roofed building is parged concrete block, its porcelain enamel tiles long since removed. At the west end, a square-shaped addition extends from the original plane of the west garage bay and contains a Bank of America teller machine and access point, with the machine located to the east of the access doorway. A metal-framed, vinyl porch covering with aluminum and glass sidewalls provides shelter for ATM users. As the featureless east wall of this addition joins the original plane of the east garage bay, the old garage bay entrance has been dramatically altered to contain a double, wooden door entry with flanking, five-light sidelights. Each door contains fifteen lights, while a triple-light, rectangular transom is visible above the doorway. A large, wood-frame, standing-seam metal, shed-style

WT0815 Todd and Higgins Esso Service Station (1954)—CH

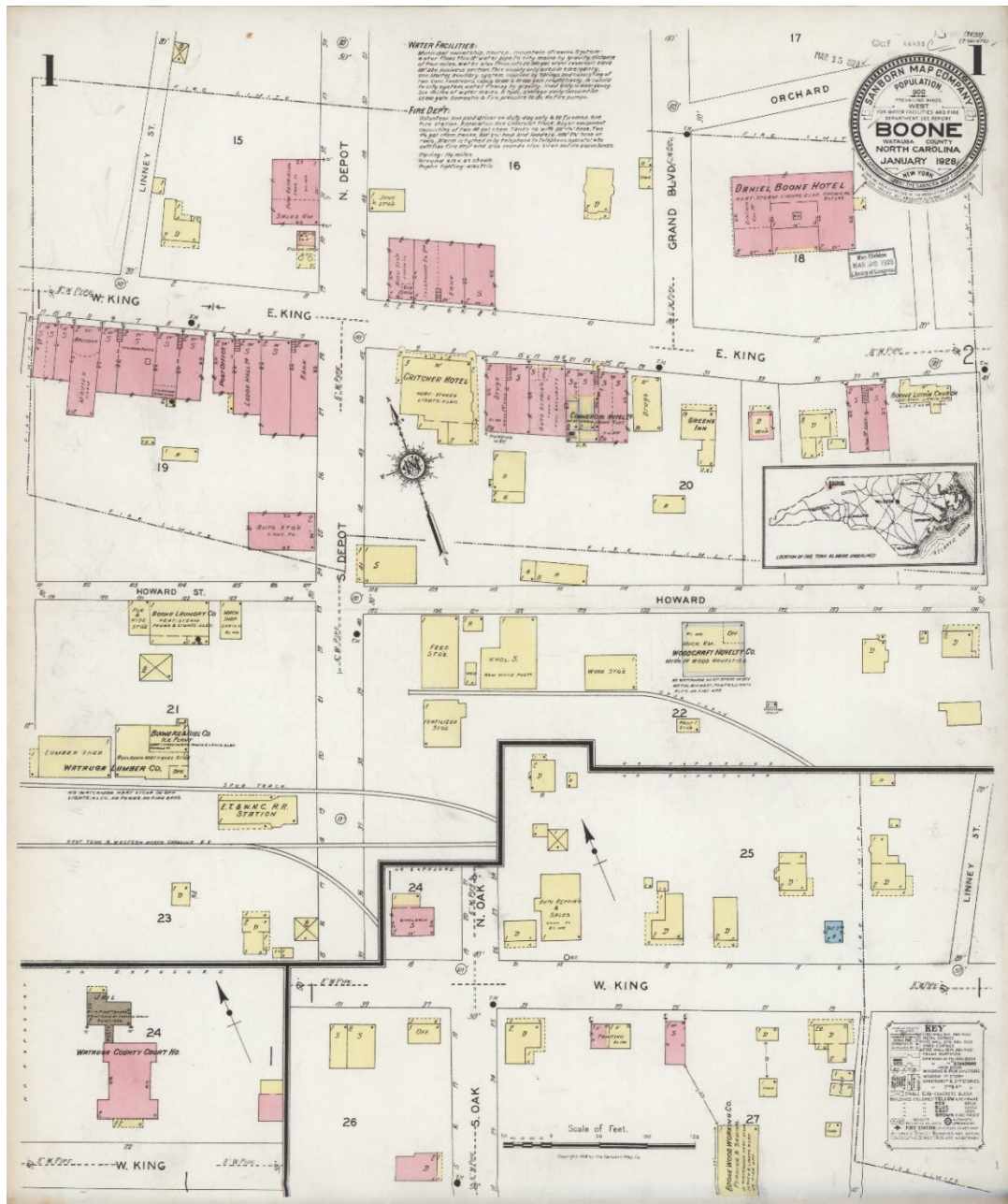
664 West King Street (2900-89-2254-000)

This one-story, concrete block building sits on the site of a former gas station, Todd's Esso Service, which occupied the lot beginning in 1924. That station was demolished in 1954 in favor of this one-story, concrete block building, which was completed in 1955. The building was originally clad in porcelain enamel tiles that were later removed in favor of the parging that now covers the building. An ATM addition was appended to the west end of the building in what was originally a garage bay probably in the 1980s, when the site was a bank. The second garage bay to the east was later converted to a double, wooden door entry with flanking sidelights. The building is an excellent historical example of new construction to replace older buildings within the downtown area during the 1950s.

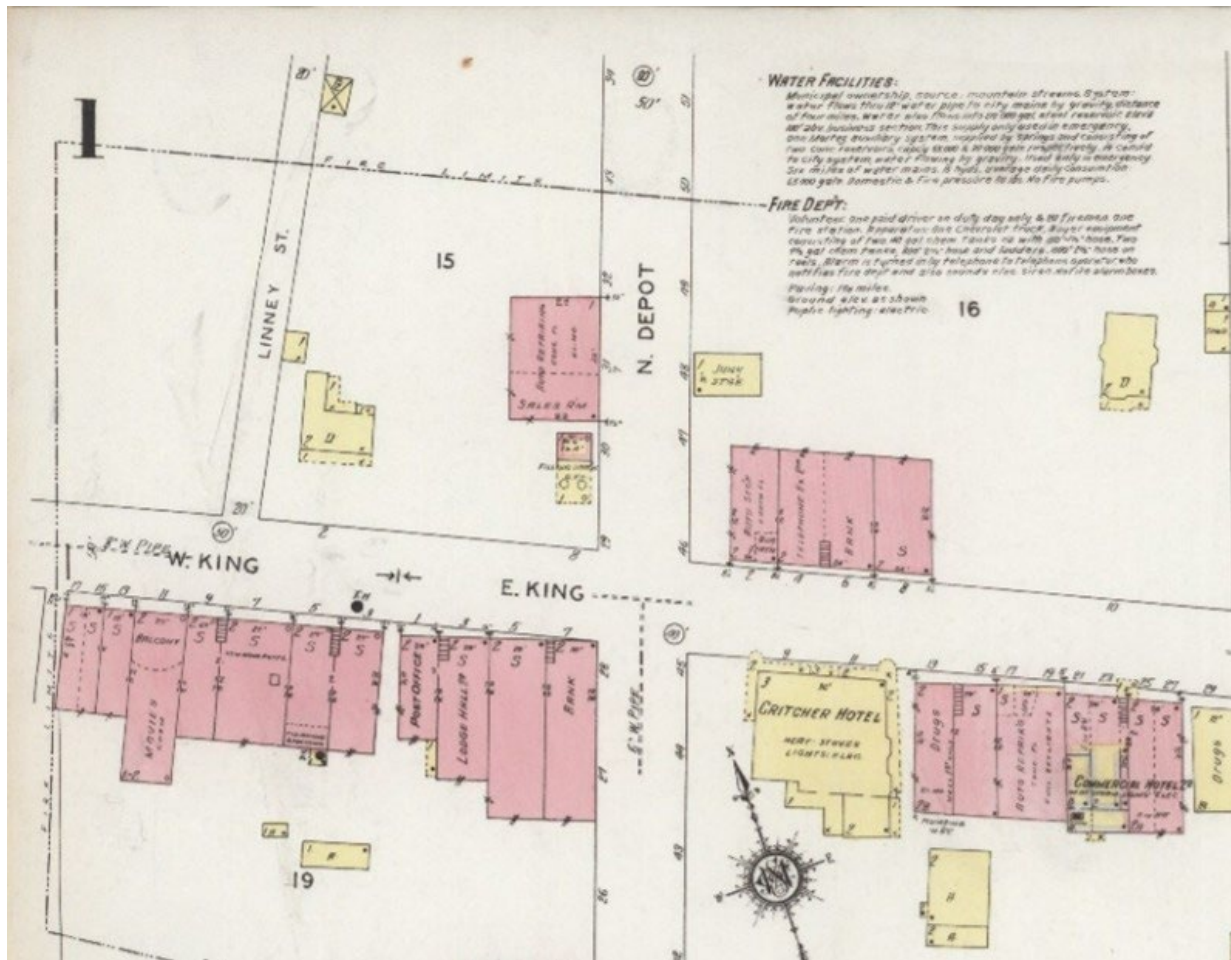
awning overhangs this entry. To the east is the angled wall of the center portion of the south elevation. This angled wall features a large, three-light, metal-frame window opening with a similar, wood-frame, standing-seam metal, shed-style awning above the windows. To the east of this angled wall is a short, rectangular protrusion to the east that appears to be reduced in width but higher than the original portion of the building seen here in 1950. A single, vinyl doorway opens into this extension on its south elevation. The east elevation of the east extension is featureless, as is the entire north elevation (aside from various rooftop, mechanical and air handling elements visible on the roof that are hidden from the south elevation by the modest parapet of the south and east elevations. At its west end, the elevation juts slightly to the north where the original garage bays extended to the north. The north and west elevations of the former garage bay area are also featureless, parged walls, although slight bump outs—suggesting quoins or pilasters at the former northwest and southwest corners of the original garage bay—are still evident under the parging. Coping for the entire roofline is metal.

Library of Congress - Sanborn Fire Insurance Maps

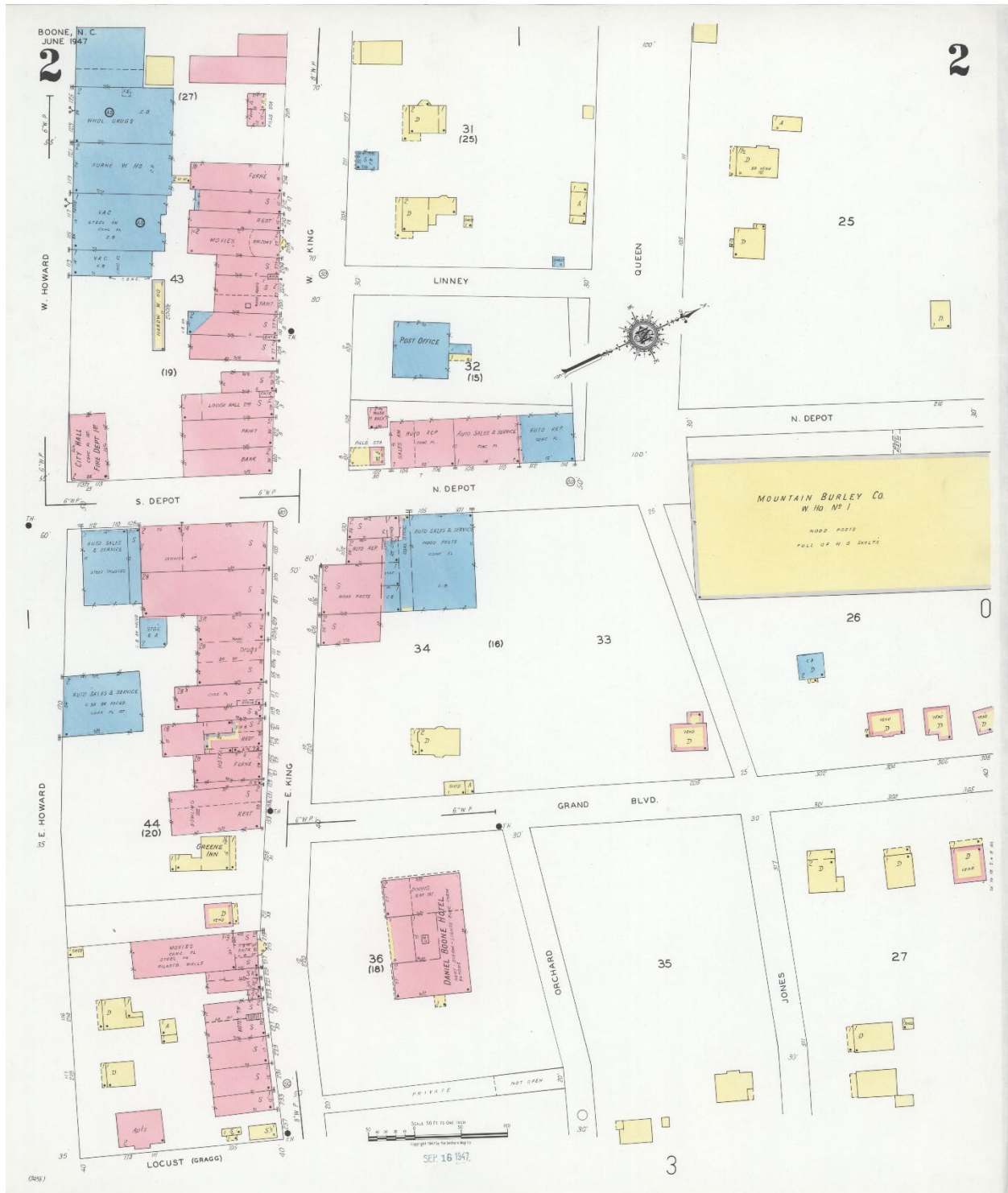
The Library of Congress has made Sanborn Fire Insurance Maps from 1928 and 1947 accessible. As these years fall within the historic district's period of significance (1918-1964), these maps will be used when the property in question, or area of the property in question, can be viewed within these maps. The content of the Library of Congress online Sanborn Maps Collection is in the public domain and is free to use and reuse.



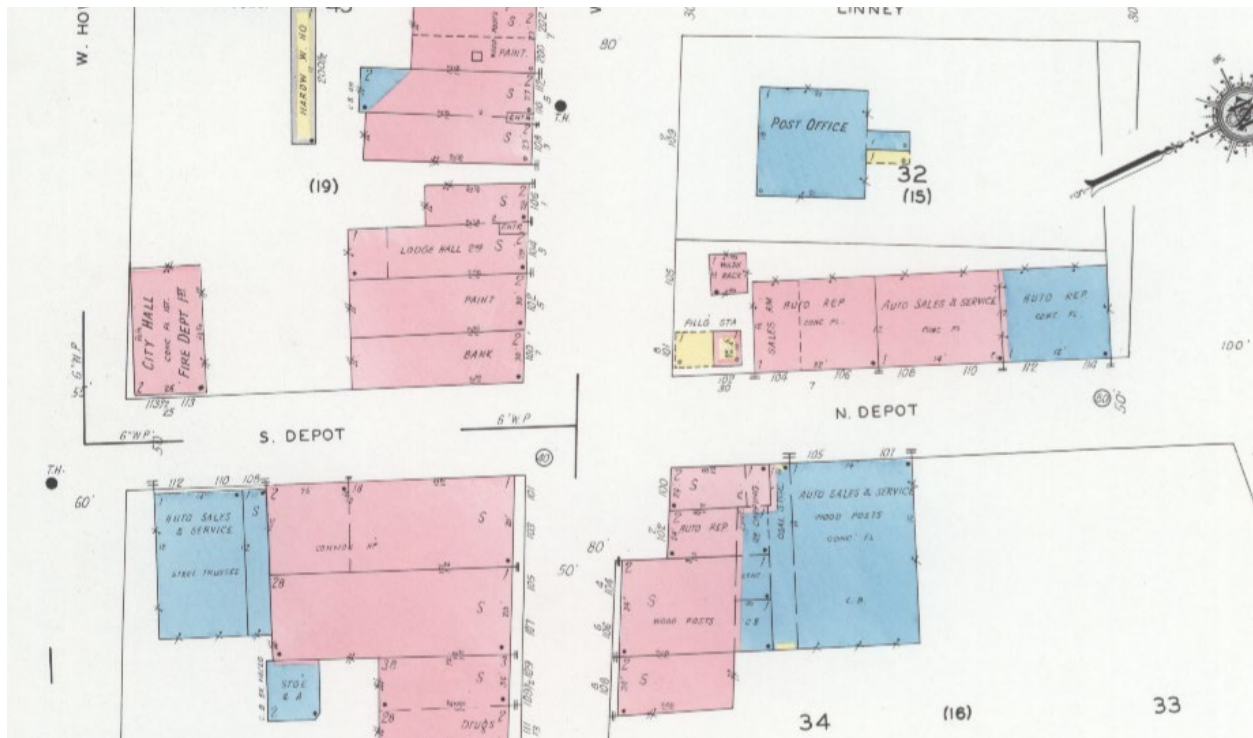
Sanborn Fire Insurance Map from Boone, Watauga County, North Carolina. Sanborn Map Company, Jan, 1928. Map. https://www.loc.gov/item/sanborn06383_001/.



Cropped Image: Sanborn Fire Insurance Map from Boone, Watauga County, North Carolina. Sanborn Map Company, Jan, 1928. Map. https://www.loc.gov/item/sanborn06383_001/.



Sanborn Fire Insurance Map from Boone, Watauga County, North Carolina. Sanborn Map Company, Jun, 1947. Map. https://www.loc.gov/item/sanborn06383_002/.



Cropped Image: Sanborn Fire Insurance Map from Boone, Watauga County, North Carolina. Sanborn Map Company, Jun, 1947. Map. https://www.loc.gov/item/sanborn06383_002/.

Downtown Boone Local Historic District Design Standards and Handbook Analysis

Narrative

Relevant design standards from UDO Appendix D, Downtown Boone Local Historic District Design Standards and Handbook, Design Standards for COMMERCIAL/RESIDENTIAL Properties within the District, are outlined below. These Standards for COMMERCIAL/RESIDENTIAL properties are intended to address many of the most common issues to arise during renovations, additions, and new construction in the District. Where the Standards are silent on a particular issue or concern, the HPC will rely upon the Secretary of the Interior's Standards for Rehabilitation to guide their review of the proposed work under the COA process and any subsequent recommendations.

Design Standards for Commercial Properties

"Commercial Property" Defined

A **commercial property** within the District is any property whose purpose-built function at the time of construction was primarily to serve a commercial, institutional, or governmental purpose or use. More specifically, commercial properties include 1) any building whose original configuration included commercial, institutional, or governmental uses on the ground floor accessed via the entrance(s) located on the primary elevation, even if residential spaces were available elsewhere in the building (such as a commercial block building with stores on the first floor and apartments on the second floor), or 2) any building with a garage bay or bays on the ground floor accessed via the entrance(s) located on the primary elevation and commercial, institutional, or governmental spaces located elsewhere in the building (such as a garage building with an office or store located on an upper floor or in the basement).

Any property within the District whose purpose-built function at the time of construction was to serve solely as a residence for long-term (greater than 30 days) occupants, even if the property currently serves a commercial use, is still considered a residential property. For standards for residential properties, please see the "Standards for Residential Properties within the District" section elsewhere in this publication.

1. Storefronts, Upper Facades, Side Elevations, and Rear Elevations

Downtown Boone is dominated by historic properties that reflect the commercial block architecture that was so common and influential during the period from 1910 to 1960 in many American towns and cities. In the case of the District, commercial block development began around 1919 and continued to the early 1960s. Central to this architecture is the importance of the storefront itself, whose familiar architectural details—large display windows, transom bars and windows, clerestory recessed entries, and prominent cornice and corbelling work—frequently signaled to customers not only the function of a business but also the quality of its wares. Many other elements—including projecting, flat awnings anchored to the façade with cables or steel rods, or fabric awnings amounted on metal frames, hinged or unhinged—provided customers with shelter from the elements while window shopping or otherwise enhanced the shopping experience. After 1950, many of these architectural details were removed, either in response to decay of these features or in an effort to "update" a building to the stylistic preferences of a later time. One such example is the Appalachian Theatre on West King Street, whose original Art Deco marquee and structural glass were removed during the late 1970s in response to safety concerns. Other elements—most notably transoms and clerestory windows, as well as the details of upper facades—were simply covered over and may still survive today underneath modern additions to the facades of many of Boone's historic downtown properties in the District.

Similarly, secondary and tertiary elevations of many of Boone's historic commercial properties are vital to the character and integrity of its downtown commercial district. Often, significant side (secondary) elevations are located on corner buildings adjacent to two or even three streets, but sometimes such

details are visible on mid-block buildings separated from nearby buildings by an alleyway or a vacant lot. Many of these buildings retain original fenestration, entrances, brickwork, and/or advertisements (some of the “ghost ad” variety) that contribute in their own significant way to the architectural character of the downtown historic district. Similarly, rear (tertiary) elevations can possess many of these same characteristics and also reveal much about the history of a property because of their frequently utilitarian design intended for the workers, owners, and residents who most often saw these rear elevations.

In an effort to preserve what remains of the District’s historic commercial architecture and encourage the reconstruction or rehabilitation of elements that have been removed or covered over, the standards for storefronts, upper facades, and other elevations are intended to facilitate preservation and reconstruction wherever possible while also addressing new construction and its compatibility with the rest of the District.

- 1.3 In making changes to storefronts or other elevations to comply with code or accessibility requirements, avoid destroying historic materials and features and select configurations that have minimal intrusion or impact on the character-defining aspects of the property in question.
- 1.8 Facade details of side (secondary) and rear (tertiary) elevations should always be retained and preserved if possible. When repairing these features, retain and preserve in place original elements as much as possible. If repair is not possible, replace damaged elements with materials that match the originals in composition, design, texture, color, and other visual qualities. If there is evidence of a rear public entrance that is no longer extant, use historical research and other evidence to reconstruct or provide an equivalent rear entrance whenever possible.
- 1.9 Utility lines, mechanical equipment, pipes, garbage receptacles, and other service items on side (secondary) and rear (tertiary) elevations—whether old or new—should be screened from public view whenever possible. Unnecessary or out-of-service elements should be removed unless they are essential to the historic character of the property.

7. Roofs

Among the most significant and important of the distinguishing characteristics of historic properties are the roof form and pitch, which are often essential to identifying the architectural style of a building. For this reason, it is imperative that every effort be made to preserve and maintain the original roof configuration and materials on historic properties, including dormers, turrets, balustrades, parapets, etc. While historic roofing materials should always be preserved whenever possible—especially if they consist of specialty roofing materials such as slate or tile—many roofing elements will require replacement due to deterioration and age.

Many of the commercial buildings in the District originally featured flat or gently sloping roofs behind a parapet wall along the primary elevation and sometimes the secondary elevations.

- 7.1 Significant changes to roofs of historic properties are not permitted, including the raising or lowering of pitch, the removal or alteration of widow’s walks, dormers, turrets, balustrades, bargeboards, quarter round, cornices, corbelling, parapets, coping, dentil moldings, brackets, eaves, rafter tails, weather vanes, or lightning rods, the cutting back of roof overhang, and the replacement of historic roofing materials with modern materials that do not replicate the original appearance of the historic property’s roof. Open rafter tails and similar roof trim

elements should never be obscured by boxed soffits or similar treatments. Specialty roofing materials, such as tile or patterned slate, should never be replaced with composition shingles. Original roofing materials should never be covered or replaced with a different type of roofing material, such as installing a standing seam metal roof over a slate or asphalt shingle roof.

- 7.2 Whenever possible, deteriorated soffits, fascia, moldings, brackets, eaves, rafter tails, cornices, coping, and other important roof components should be repaired. If replacement is necessary, it should be completed using historic materials if possible, and at minimum with equivalent materials that replicate the appearance, configuration, size, scale, and composition of the original historic materials. Underlying roofing components are just as important. For example, tongue-and-groove soffit lumber should never be replaced with plywood, and whenever possible, damaged or deteriorated roof decking should be replaced with similar materials rather than modern materials that are not historically appropriate to the building.
- 7.3 Dormers and gables should never be added to the primary and secondary elevations visible from the street (unless replacing an historic element that had been previously removed) and should be added to tertiary elevations only when it can be shown that they are appropriate for the building style. The addition of dormers to commercial block buildings is especially inappropriate and should be avoided on all occasions and reversed in cases where this change has already been made. Skylights, solar panels, power ventilators, and mechanical equipment should always be restricted to the tertiary portions of the roof or areas behind parapet walls and hidden from the street. Screening materials should never be erected on top of a roof to obscure such elements.
- 7.4 It is important to provide adequate ventilation for roofing components, as excessive heat buildup under the roof can shorten the life of shingles. Ventilators should be located in an inconspicuous place, preferably on tertiary roof slopes not visible from the street, and low-profile mechanical or power ventilators are best. Soffit vents are permissible as long as the original soffit lumber is retained. On historic properties that already possess louvered, wood, gable vents, these should never be covered or replaced with metal louvers.
- 7.5 Tar or roofing cement should never be used as a substitute for properly installed flashing. In most instances, metal flashing is always preferred over asphalt shingle weaving, particularly in valley flashing situations.
- 7.6 Rooftop additions to existing commercial buildings, including those intended to accommodate elevator shafts, bars, decks, kitchen prep areas, social areas, or solar arrays, or to otherwise enable recreational use of open rooftops, are generally not appropriate if any portion of the rooftop addition is visible from the street-level right of way adjacent to the primary elevation.
 - 7.6.A. Rooftop additions should never be more than one story (10 feet) in height from the roof surface of the existing building.
 - 7.6.B. Rooftop additions should never destroy or damage character-defining features of an existing building, and they should be designed to be compatible with both the size, scale, color, material, form, style, and character of the building on

- which they are erected and the historic district as a whole. Rooftop additions should be subordinate to the existing building in size and design, and compatible with its massing, scale, materials, and features. Nevertheless, additions should be sufficiently differentiated as new elements from original components of the existing building.
- 7.6.C. Rooftop additions should be positioned on the roof to eliminate the possibility of the structure being visible from the street-level right of way located along the building's primary elevation. For buildings located on corner lots, additions should not be visible from the streetside secondary elevation, either. In the vast majority of cases, this will mean positioning the addition within the one-third portion of the rooftop located closest to the tertiary elevation of the existing building. In many cases, rooftop additions are most feasible on buildings at least four stories in height located adjacent to taller buildings or existing high party walls that will help shield the rooftop addition from street-level view.
 - 7.6.D. Rooftop additions should maintain the lowest possible profile in their construction, so that walkways, decks, seating areas, solar arrays, and similar components are built as close as functionally possible to the original roof surface of the existing building.
 - 7.6.E. Rooftop additions must be approved through the Conditional District zoning process prior to being considered under the Certificate of Appropriateness process associated with these Standards.
- 7.6 Deteriorated roof coverings should be replaced with materials that are compatible with the old in composition, size, texture, pattern, and color once the structural integrity of the roof decking is assured. If at all possible, the use of historic replacement materials for slate, clay tile, terra cotta, pressed metal shingle, and wood shingle roofs is always preferred over new materials. Unless historically appropriate to the building in question, or unless totally obscured by street view by parapets, white or very light roofing materials are not permitted. Exposed tarpaper rolls are never permitted as a roofing material.
- 7.7 Historically appropriate metal gutters, downspouts, and other drainage devices are common on historic properties and should always be retained whenever possible, as they provide important protection for both the roof and the foundation of the property. Built-in gutters that are an important part of the architecture of the building should always be repaired rather than replaced if they become deteriorated. When metal finishes must be replaced because of rust or other deterioration, replace ONLY deteriorated material or detail with new materials that match the previously existing historic material in composition, size, shape, texture, pattern, color, and detail. Replacement gutters and downspouts should never conceal or interfere with architectural trim details. It is not appropriate to paint metal finishes, such as metal downspouts or copper trim, if these items were historically unpainted.
- 7.8 Flashing materials should blend in color with the roof or chimney color. Whenever possible, historically appropriate splash blocks at the base of downspouts should be used to direct water away from the building's foundation. (Please note that the Town of Boone's storm water detention requirements may apply to the use of splash blocks.)

- 7.9 Roof coping on commercial buildings with original flat roofs was typically made of terracotta tile. Modern coping systems that are often used in conjunction with rubber membrane roofs, especially if they employ metal coping in a color that contrasts with the masonry walls they cover, are inappropriate.

10. Utilities and Energy Retrofit

Updating utilities and energy systems in historic properties is a common and natural event in the life of a building. As technology improves and environmentally friendly mechanical systems become more readily available, many property owners will desire to improve the efficiency of their historic properties. The HPC encourages the installation, rehabilitation, or replacement of mechanical systems—in compliance with local building codes and utility company standards—with systems that will improve the overall efficiency of those properties. That said, these mechanical systems, when installed in or on an historic property, must comply with certain essential standards.

- 10.1 Install utilities and mechanical equipment in areas and spaces that will require the least possible alteration to the plan, materials, and appearance of the building. Installation at the rear (tertiary elevation) of the building, if feasible, is preferred.
- 10.2 It is NOT appropriate to locate mechanical equipment farther forward on the property (i.e. toward the street facing the primary elevation) than the midpoint of the primary building.
- 10.3 Ductwork, piping, fuel tanks, plumbing vents, solar collectors, and satellite dishes should not be visible from the street. Ground-level equipment that can be seen from the street should be screened with shrubbery or fencing. Rooftop equipment should be screened with existing parapet walls or located toward the portion of the roof nearest the tertiary elevation.
- 10.4 If an interior location is not feasible, place utilities and mechanical equipment and conduit in inconspicuous locations and/or conceal with architectural elements such as downspouts.
- 10.5 The location of solar collectors or solar panels should be aligned on the building's roof in the direction of greatest effectiveness with a minimized view of such equipment from the primary elevation of the structure.

Automatic Conditions of Approval

The following conditions are automatically included and a part of any approval.

- Where there is a conflict between the application information and the plans dated March 27, 2025, the plans control. Insignificant deviations may be permitted to comply with the requirements of the UDO.
- Any commitments and representations concerning the proposed exterior modification made by the applicant or its representatives at the public hearing shall also become a condition of the permit, and a basis for a stop work order and/or permit revocation if violated.
- The applicant shall submit the necessary applications, plans, details and specifications which meet the requirements of the Town Code, UDO, Building Code and any other applicable codes for review and approval necessary to issue Zoning and Building Permits.

Historic Preservation Commission Procedure

In considering this application for a COA the HPC shall base their decisions solely on the basis of competent, material and substantial evidence entered into the record via the application packet and sworn testimony at the public hearing.

When making the motion for approval, the Commission should consider that unless the Commission explicitly orders otherwise, every approval is conditioned upon the development being completed in accordance with the plans submitted by the applicant, the commitments and representations concerning the proposed development made by the applicant and representatives at the public hearing, and final conformity with all requirements of the UDO.

The question before the Historic Preservation Commission is whether or not the proposed development is congruous (i.e., in agreement, in harmony) with the special character of the historic district. If the proposed exterior modification is congruous, the Commission shall issue the requested COA. If the proposed exterior modification is incongruous (not in agreement, not in harmony) with the special character of the historic district, the Commission shall deny the requested COA. The Commission shall approve, approve with conditions, or the deny the COA by majority vote.

Vote: The proposed development ☐ is congruous OR ☐ is incongruous with the special character of the Downtown Boone Local Historic District and is approved subject to the following conditions (as warranted):

1. Conditions:

Criteria for Conditions: The Commission may issue approval subject to reasonable conditions necessary to carry out the purposes served by the historic district (see G.S. 160D-940, 160D-947(a)). The purposes of the historic district are to (i) safeguard the heritage of the town insofar as the Historic District embodies important elements of the town's culture, history, architectural history, and/or prehistory, and (ii) to promote the use and conservation of the district for the education, pleasure, and enrichment of the residents of the town and/or the State as a whole, see North Carolina G.S. §160D-940, 944, 947(a).

Historic Photos

Below is a collection of historical photos of the subject property, obtained through a collaboration with Digital Watauga. The photos are displayed in their original size and resolution, as well as in a cropped version that highlights the main features of interest. For each photo, there is a citation.

Staff Note: Planning Staff did not alter or edit the photos in any way, but only arranged them in this document for presentation purposes. Photos attached here are the best available with the clearest and most complete images of the subject property. Any commentary on the images is from the Digital Watauga technician(s) who found and sent the images to Planning Staff.



Image courtesy of the Palmer Blair Collection, Digital Watauga Project



Image courtesy of the Palmer Blair Collection, Digital Watauga Project



Image courtesy of the Palmer Blair Collection, Digital Watauga Project



Image courtesy of the Palmer Blair Collection, Digital Watauga Project



Image courtesy of Digital Watauga Project; Unknown, "Couple Riding in Convertible Downtown Boone," *Digital Watauga*, accessed April 16, 2025, <https://digitalwatauga.org/items/show/14989>.



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Image courtesy of the Palmer Blair Collection, Digital Watauga Project



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Image courtesy of Digital Watauga Project; Unknown, "Boone US Post Office Dedication Ceremony, April 10, 1940," *Digital Watauga*, accessed April 16, 2025, <https://digitalwatauga.org/items/show/7974>.



Image courtesy of Digital Watauga Project; Unknown, "Boone US Post Office Dedication Ceremony, April 10, 1940," *Digital Watauga*, accessed April 16, 2025, <https://digitalwatauga.org/items/show/7974>.



Image courtesy of the Glenn Thomas Collection, Digital Watauga Project



Image courtesy of the Glenn Thomas Collection, Digital Watauga Project



Image courtesy of Digital Watauga Project; Unknown, "Wildflower, Located at Depot Street and King Street, 1990s," *Digital Watauga*, accessed April 16, 2025, <https://digitalwatauga.org/items/show/7036>.



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Image courtesy of Digital Watauga Project; Unknown, "Flood Waters Rushing Down King Street, Boone, NC, August 13, 1940," *Digital Watauga*, accessed April 16, 2025, <https://digitalwatauga.org/items/show/6175>.



Image courtesy of Digital Watauga Project; Unknown, "Flood Waters Rushing Down King Street, Boone, NC, August 13, 1940," *Digital Watauga*, accessed April 16, 2025, <https://digitalwatauga.org/items/show/6175>.



Image courtesy of Digital Watauga Project; Unknown, "Children in 1952 Spring Clean Up Parade (1/2)," *Digital Watauga*, accessed April 16, 2025, <https://digitalwatauga.org/items/show/6449>.



Image courtesy of Digital Watauga Project; Unknown, "Children in 1952 Spring Clean Up Parade (1/2)," *Digital Watauga*, accessed April 16, 2025, <https://digitalwatauga.org/items/show/6449>.

CHAI & CHUTNEY RESTAURANT (formerly Melanie's)**664 West King Street****COA Application** - New rooftop kitchen exhaust hood & relocation of existing rooftop kitchen exhaust hood**WRITTEN DESCRIPTION OF PROPOSED WORK**

Owners of the Mint Indian Cuisine Restaurant on Boone Heights Drive are opening another Indian cuisine restaurant in downtown Boone at the former location of Melanie's Restaurant at the Corner of King Street & North Depot Street.

The new restaurant will require an additional 10' kitchen exhaust hood to be installed beside an existing 8' exhaust hood which has been in place since the former gas station, bank, and attorney's office building was converted into a restaurant some 25+ years ago. This COA application is a request for approval of the installation of the new rooftop mechanical equipment and relocation of the existing rooftop mechanical equipment which is required to operate the two exhaust hoods.

It is staff's interpretation that a COA is required to approve the proposed mechanical work on the roof per UDO Section 8.05.03-Table of Minor and Major Work in the Historic District – Mechanical Systems/Equipment, P 8-7 in Article 8 HISTORIC PRESERVAION PROCEDURES (attached).

The building is located at the intersection of Depot Street (East) and King Street (South). The town owns the adjacent properties to the West (Post Office & Planning & Inspections offices) and the parking lot North of the subject building. As defined under 'Elevation Definitions' -P-27 of the Local Historic Design Standards:

- Front of the building facing King Street is considered the Primary Elevation,
- Left & right sides of the building facing Depot Street & Post Office are the Secondary Elevations
- Back of the building facing the parking lot is the Tertiary Elevation.

The height of the existing one-story building is approximately 15' as measured to the top of the parapet wall which surrounds the front and two sides of the building. The roof slopes from front to back, draining into open gutters and no parapet on the back wall. The height of the low parapet wall along the front and right side of the building is minimal-12" to 18" above the existing roof level.

The location of the existing (and future) exhaust hoods within the restaurant kitchen are against the back of the Western wall facing the Post Office building. Vertical ductwork will be installed from the exhaust hoods in the kitchen through the roof and continue on the roof to the outdoor exhaust and air intake fan units which will be located on the roof towards the middle back-half of the building. See attached roof plan. *Note: Mechanical and Building Codes require minimal separation of 10' from property lines and other nearby exhaust air/intakes.* The final location of the rooftop units will be determined during installation.

DESIGN STANDARDS FOR COMMERCIAL PROPERTIES WITHIN THE DISTRICT

- | | |
|---|--------------------|
| 1. Storefronts, Upper Facades, Side & Rear Elevations | NA to this request |
| 2. Architectural Components and Details | NA to this request |
| 3. Foundations | NA to this request |
| 4. Masonry | NA to this request |
| 5. Wooden Elements | NA to this request |
| 6. Windows, Doors and Awnings | NA to this request |

7. Roofs

7.3 Design Standards(P85) "...and mechanical equipment should always be restricted to the tertiary portion of the roof or areas behind parapet walls and hidden from the street. Screening materials should never be erected on top of a roof to obscure such elements."

The new & relocated roof top mechanical equipment will be located on the back-half of the building and located on the tertiary elevation (TOB parking lot). It will be impossible to truly conceal from any elevation for the following reasons:

- The small size and irregular shape of the building and property and location of the existing kitchen within the building,
- The low height of the existing building and parapet walls
- the size of the rooftop equipment.

The mechanical equipment will be most visible from the parking lot and Post Office properties, partially visible from King Street and least visible from Depot Street. The exposed rooftop mechanical systems would be historically compatible with the original industrial use of the building as a service station. A mixture of deciduous and evergreen bushes and trees screen much of the roof from surrounding streets and sidewalks.

- | | |
|--|--------------------|
| 8. Entrances, Porches and Balconies | NA to this request |
| 9. Paint and Paint Color | NA to this request |
| 10. Utilities and Energy Retrofit | NA to this request |
| 11. Accessibility, Health and Safety Considerations | NA to this request |
| 12. Additional Standards on Artificial Materials | NA to this request |
| 13. Additions to Existing Buildings in the District | NA to this request |
| 14. New Construction of Commercial Buildings within the District | NA to this request |

Town of Boone
Unified Development Ordinance
Article 8 Historic Preservation Procedures

Description of Work	Routine Maintenance	Minor Work (SOC)	Major Work (COA)
All other alterations			X
Exterior Surfaces Materials (Masonry, Siding, etc.)			
In-kind repairs/replacement, including repointing, to existing exterior surfaces when the material, color, composition of the new material matches the existing exterior surface (includes requirement that the composition of mortar match the original)		X	
All other alterations			X
Foundations			
In-kind repair of a foundation	X		
Alteration of a foundation on a tertiary elevation not visible from a public street		X	
All other alterations			X
Gutters and Downspouts			
In-kind repair/replacement of gutters and downspouts	X		
Installation of gutters and downspouts that match the house or trim color as long as no historic features are damaged or removed.		X	
Removal of gutters or downspouts that are not historic to the building		X	
All other alterations			X
Landscaping			
Insignificant landscaping including vegetable and flower gardens and shrubbery	X		
Pruning of trees and/or shrubbery	X		
Removal of trees less than 25 inches in diameter	X		
Removal of trees that are dead, dangerous per adequate documentation from licensed arborist	X		
Removal of any invasive species (landscape material) as listed on the Invasive Plants Found in the Mountains of North Carolina list published by the NC Invasive Plant Council	X		
Removal of any tree 25 inches or greater, unless documented as dead or dangerous			X
Mechanical Systems/Equipment			
In-kind repair/replacement of any existing mechanical systems, vents, and related equipment	X		
Removal of existing mechanical systems, vents and related equipment		X	
Installation of mechanical systems, vents, and related equipment on tertiary elevations		X	
Installation of window air conditioners		X	
All other installations			X
Painting			
In-kind repair/re-painting of a previously-painted surface	X		
All other painting, including the painting of exterior surfaces not previously painted			X
Parking Lots			
In-kind repair/replacement of existing parking lots	X		
Insubstantial alterations of existing parking lots and removal of non-historic parking lots		X	



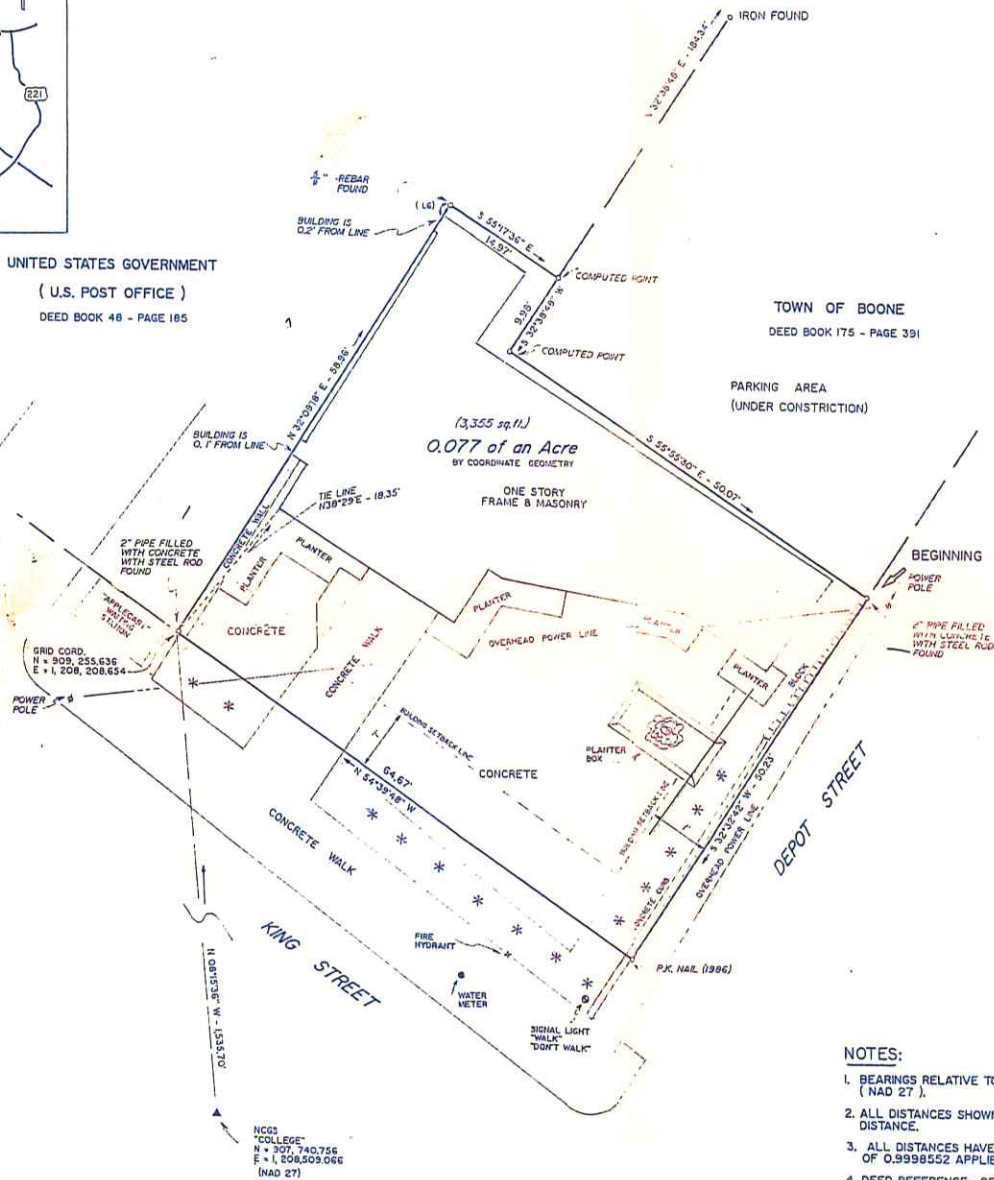




VICINITY MAP
(NO SCALE)

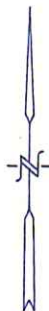
UNITED STATES GOVERNMENT
(U.S. POST OFFICE)
DEED BOOK 48 - PAGE 185

TOWN OF BOONE
DEED BOOK 175 - PAGE 391



NOTES:

1. BEARINGS RELATIVE TO N.C. STATE GRID SYSTEM (NAD 27).
2. ALL DISTANCES SHOWN ARE HORIZONTAL GRID DISTANCE.
3. ALL DISTANCES HAVE A COMBINED SCALE FACTOR OF 0.9998552 APPLIED TO THEM.
4. DEED REFERENCE: DEED BOOK 038 - PAGE 789.
5. PRECISION OF CLOSURE 1:10,000.
6. THIS PROPERTY IS LOCATED IN A "ZONE C" (MINIMAL FLOODING) FLOOD AREA AS PER THE FLOOD INSURANCE RATE MAPS FOR WATAUGA COUNTY.
7. THIS SURVEY IS LOCATED IN THE B-1 FIRE DISTRICT.
8. THE TOWN OF BOONE SETBACK LINES ARE 7' ADJACENT TO STREET - 2' ON SIDE LINES.



I, Jerry L. Ball, certify that this plat was drawn from an actual survey made under my supervision, deed description recorded in Book _____, Page _____, that the boundaries not surveyed are shown as broken lines plotted from information found in Book _____, Page _____; that this plat was prepared in accordance with G.S. 47-30 as amended. Witness my original signature, registration number and seal this _____ day of _____, A.D. 1991.

Jerry L. Ball
Surveyor
L-3108
Registration Number



North Carolina, Avery County, I, a Notary Public of the County and State aforesaid, Certify that Jerry L. Ball, a Registered Land Surveyor, personally appeared before me this day and acknowledged the execution of the foregoing instrument. Witness my hand and official stamp and seal, this _____ day of _____, 1991.

Marlow W. Ball
Notary Public



My commission expires November 13, 1991.

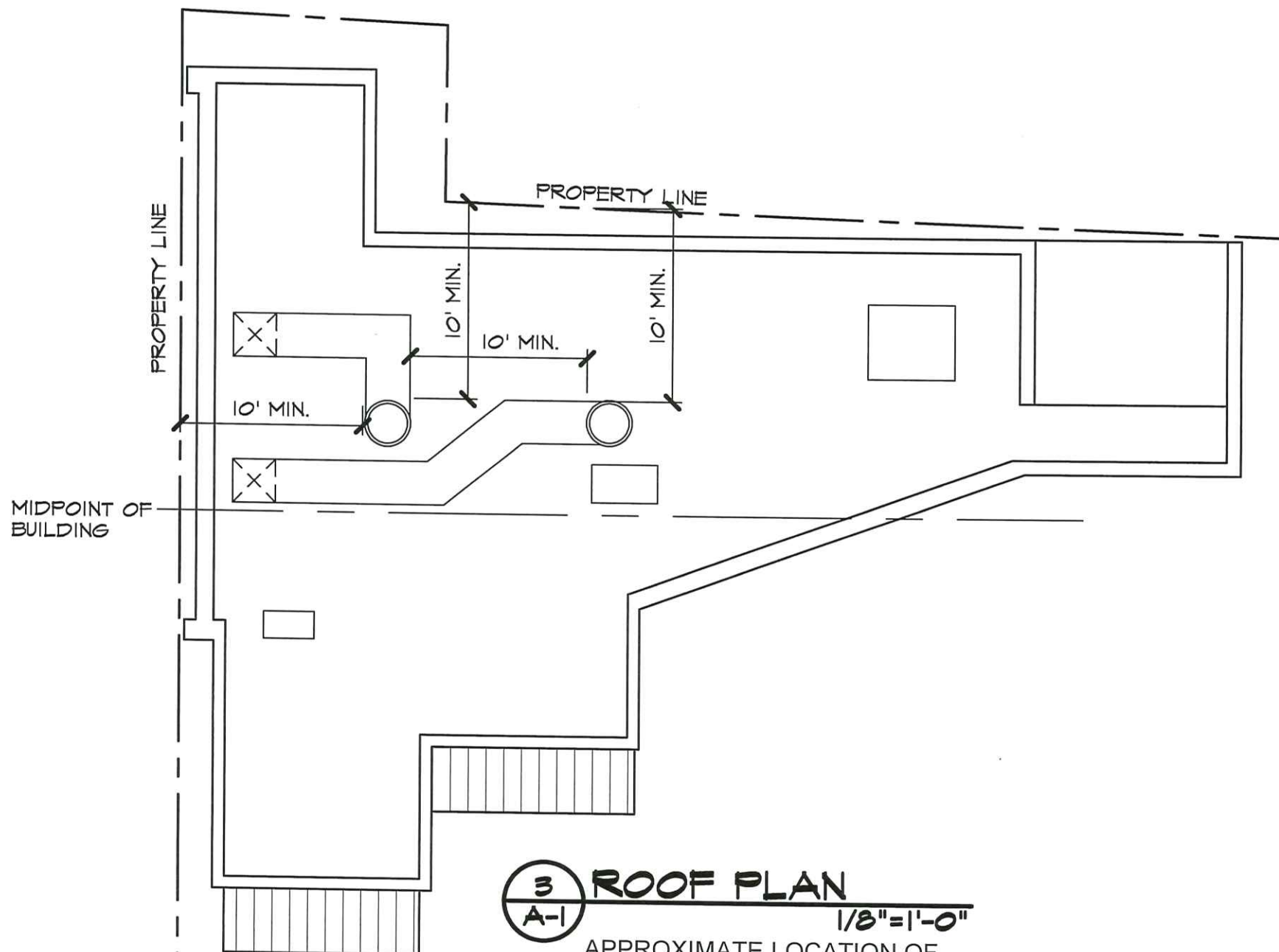
PROPERTY OF:
NETWORK INVESTMENTS,
A N.C. GENERAL PARTNERSHIP

TO BE CONVEYED TO:
MICHAEL VETROS

TOWN OF BOONE
BOONE TOWNSHIP, WATAUGA COUNTY, N.C.
SCALE 1" = 10' APRIL 18, 1991



JERRY L. BALL, REGISTERED LAND SURVEYOR, NO. L-3108
P.O. BOX 1202 - HWY. N.C. 184 PHONE (704) 898-5591
BANNER ELK, N.C. 28604 MAP NO. 91054



3 ROOF PLAN
 A-1 $\frac{1}{8}'' = 1'-0''$

APPROXIMATE LOCATION OF
 ROOFTOP KITCHEN EXHAUSTS,
 INTAKE DUCTWORK & FANS

APPALACHIAN ARCHITECTURE, P.A.
 BOONE, NC

CHAI & CHUTNEY

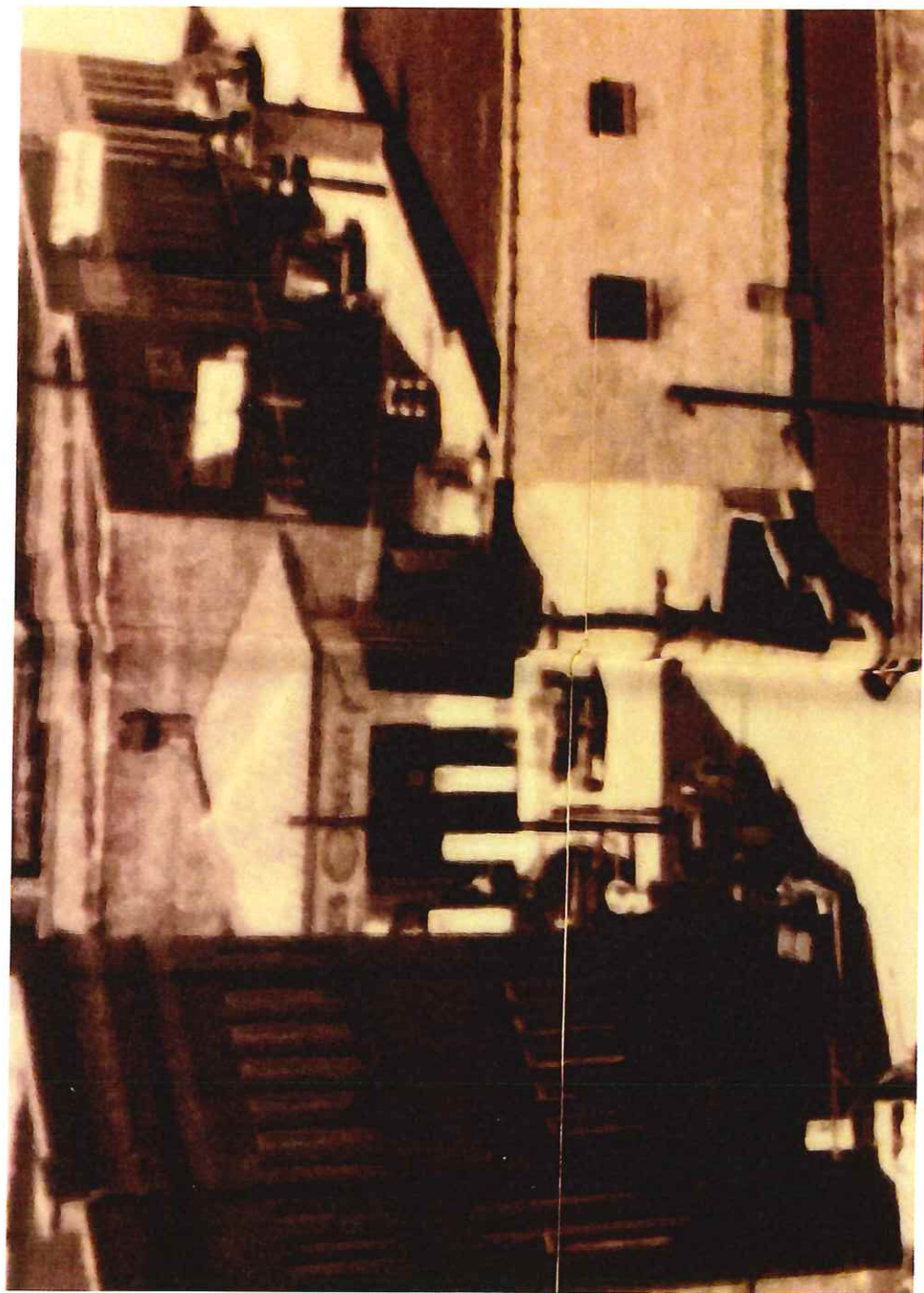
WT0815 Todd's Esso Service Station

664 West King Street

This one-story, concrete block building sits on the site of a former gas station, Todd's Esso Service, which occupied the lot by 1928, when it first appeared on the Boone Sanborn map as a small, square building along the west side of North Depot Street with a large wooden overhang extending toward West King Street. By 1940, as seen in a Boone Post Office dedication image, the complex included a detached, rectangular building with two garage bays to the west (identified as a "wash rack" in the 1947 Sanborn map). By 1950, when the station was known as "Todd & Higgins Esso" (as shown in a parade image), the original structure and the wash rack had been replaced by a unified, irregularly shaped building that very much resembles what stands today, suggesting that the current structure was built between 1947 and 1950. That building was clad in the porcelain enamel tiles commonly used on service stations during this period. The building is currently home to Melanie's Food Fantasy, a restaurant.

Today, the entire, flat-roofed building is parged concrete block, its porcelain enamel tiles long since removed. At the west end, a square-shaped addition extends from the original plane of the west garage bay and contains a Bank of America teller machine and access point, with the machine located to the east of the access doorway. A metal-framed, vinyl porch covering with aluminum and glass sidewalls provides shelter for ATM users. As the featureless east wall of this addition joins the original plane of the east garage bay, the old garage bay entrance has been dramatically altered to contain a double, wooden door entry with flanking, five-light sidelights. Each door contains fifteen lights, while a triple-light, rectangular transom is visible above the doorway. A large, wood-frame, standing-seam metal, shed-style awning overhangs this entry. To the east is the angled wall of the center portion of the south elevation. This angled wall features a large, three-light, metal-frame window opening with a similar, wood-frame, standing-seam metal, shed-style awning above the windows. To the east of this angled wall is a short, rectangular protrusion to the east that appears to be reduced in width but higher than the original portion of the building seen here in 1950. A single, vinyl doorway opens into this extension on its south elevation.

The east elevation of the east extension is featureless, as is the entire north elevation (aside from various rooftop, mechanical and air handling elements visible on the roof that are hidden from the south elevation by the modest parapet of the south and east elevations. At its west end, the elevation juts slightly to the north where the original garage bays extended to the north. The north and west elevations of the former garage bay area are also featureless, parged walls, although slight bump outs—suggesting quoins or pilasters at the former northwest and southwest corners of the original garage bay—are still evident under the parging. Coping for the entire roofline is metal.



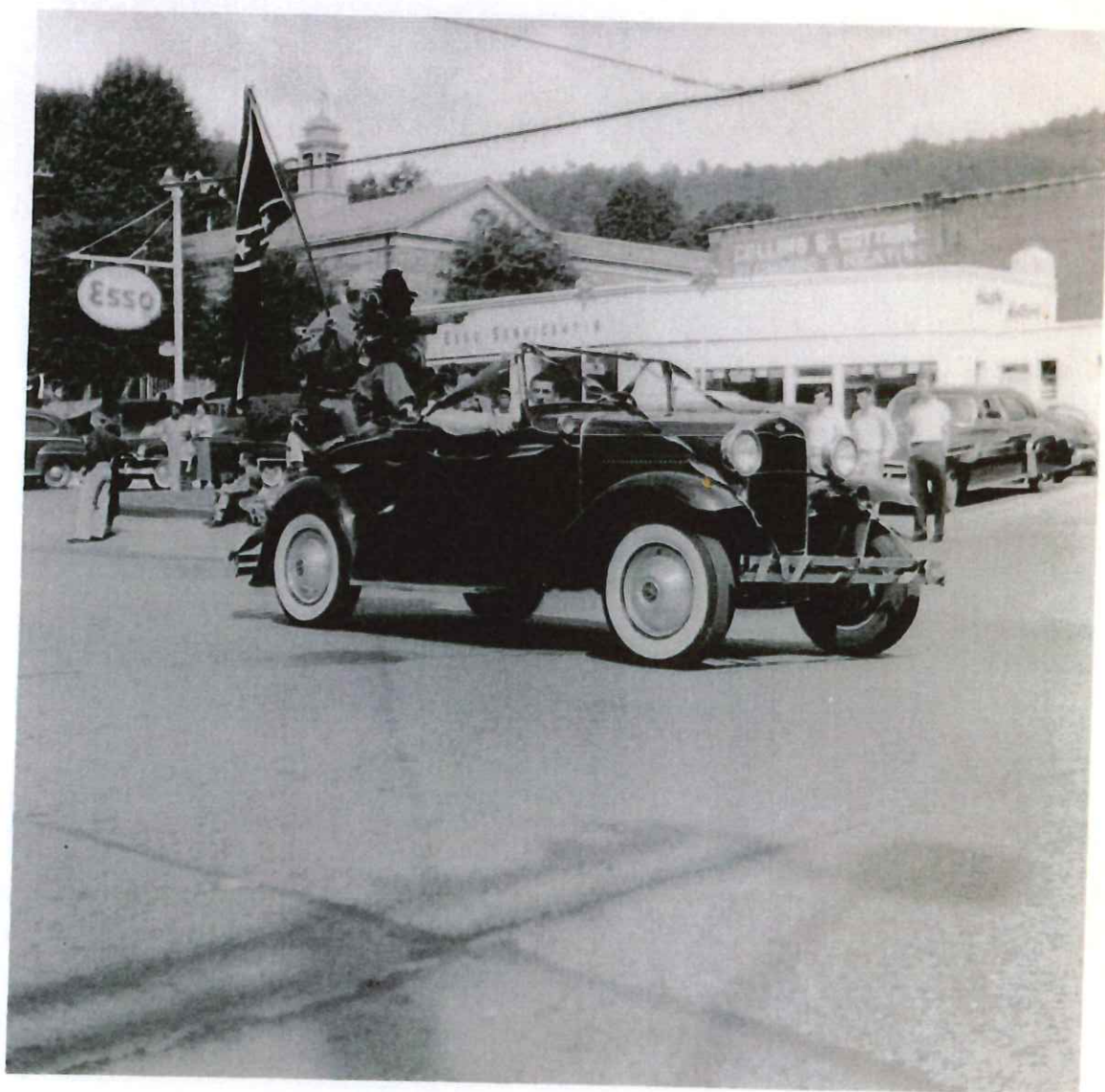
"Mon" e Mint in Oia Restaurant 336-409-9690



DOWNTOWN PARADE C. 1950. This event may have been a homecoming parade for high school or Appalachian Training School. The recently opened Esso Service Station is the white building. Collins & Cotrell Plumbing and Heating and Tuckers Used Cars occupy the buildings in the right of the photograph. (Courtesy Historic Boone.)











Staff Report

May 12, 2025

Case A25-0216 The Shoppes at Farmers Hardware - Certificate of Appropriateness for Major Work

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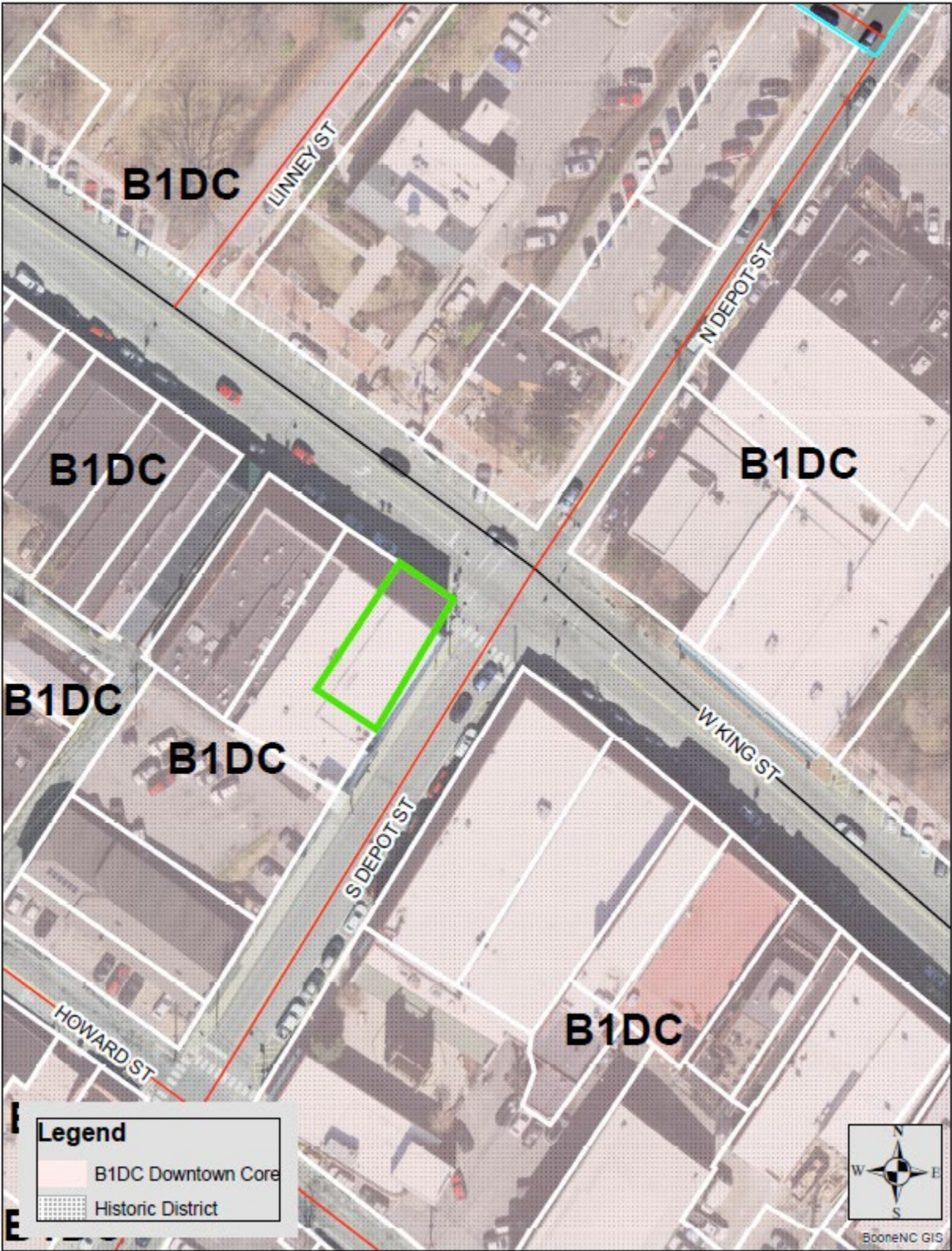
Request

The Shoppes at Farmers Hardware has submitted an application for a Certificate of Appropriateness for Major Work for 661 West King Street (WT0589 Boone Hardware/Farmer’s Hardware Block) located in the Downtown Boone Local Historic District. The request includes the replacement of the existing metal framing and windows with new black anodized aluminum framing and windows. The subject property is outlined in green on the Zoning Map located on Page 2.

The Table of Minor Work and Major Work, located in both UDO Article 8, Subsection 8.05.03 and Appendix D, requires the applicant to obtain a (COA) for any installation, removal, addition, or modification of doors or windows that is not in-kind repair and replacement.

Staff Notes can be found throughout the report marked in ***bold green italicized text***.

Zoning Map



Parcel Information

Address:	661 West King Street
Property Owner:	Farmers Hardware and Supply Co, Inc.
Watauga County Pin:	2900-89-1049-000
Lot Size (Total):	0.12 Acres
Jurisdiction:	Town Of Boone
Access:	West King Street (US Highway 421) – NCDOT Maintained
SFHA:	No
Watershed District:	No
Corridor District:	No
NCD:	No
Viewshed:	No
Steep Slope:	No
Very Steep Slope:	No
Current Zoning:	B1 Downtown Core, Downtown Boone Local Historic District Overlay The B1 Downtown Core, together with the B1 Downtown Interface District encompass the Town of Boone’s downtown area and represent, in large measure, the remaining vestiges of the Town’s historic character. Regulations in these districts are intended to preserve and maintain a small town, high country atmosphere. Preservation and adaptive reuse of existing historic buildings are encouraged and new construction shall be appropriately scaled to be sympathetic to the existing built environment. Design and regulatory standards for these districts reinforce the character of the downtown as a pedestrian friendly area by encouraging architectural solutions that are visually interesting, and are compatible in scale and character to the surrounding area. To help accomplish this, the area is divided into two (2) districts, each with its own character and scale which contribute to the overall vitality of the downtown area. Identification of the districts is listed below: 1. B1 Downtown Core District: The Downtown Core District is the center of the downtown area and contains the greatest concentration of historic commercial buildings. This district establishes a continuous building facade at the street frontage to strengthen the identity of downtown as a pedestrian destination where pedestrians feel comfortable through the careful selection of building materials, human scale design, and ground floor fenestration. Standards in this district reinforce the historic nature of the existing built environment through regulation of appearance, height, scale and mass. 2. B1 Downtown Interface District: The Downtown Interface District serves as a gateway into the downtown area and as the transition between the B1 Downtown Core District and adjacent zoning districts. Development in this district must be sensitive to issues of compatibility with the Downtown Core

District as well as surrounding zoning districts, many which are low-density residential.

Staff Note: The Downtown Boone Local Historic District is an overlay district, which is a district that overlaps, in this case, the general use B1 zoning districts and contains standards in addition to the underlying general use district zoning standards. Where requirements conflict, overlay district standards supersede.

Zoning & Use of Adjacent Properties		
	Adjacent Zoning	Adjacent Land Use
North	B1 Downtown Core, Downtown Boone Local Historic District	Government Use (Post Office), Restaurant
East	B1 Downtown Core, Downtown Boone Local Historic District	Commercial - Retail
South	B1 Downtown Core, Downtown Boone Local Historic District	Commercial - Retail, Parking Lot
West	B1 Downtown Core, Downtown Boone Local Historic District	Commercial - Retail

Recent Zoning History

Include this section if needed based on the property.

- 12-06-2022** The Town of Boone issued a building permit for the installation of a mini-split style HVAC system on the tertiary of the building.
- 06-22-2020** The Town of Boone issued a zoning permit for the repainting of the white parts of the building.

Zoning Analysis (B1 Downtown Core)

The following UDO requirements are required to be met for the proposed replacement of the unless superseded by any requirements of the Downtown Boone Local Historic District overlay.

The existing use, 11.11 – Retail Store up to 5,000 ft² is allowed by-right in the B1DC zoning district subject to the limiting conditions of UDO 14.09.03. These limiting conditions will be reviewed in their entirety during the zoning permit process. Only those conditions which affect (or could potentially affect) the exterior façade(s) of the development and thus be relevant to the COA process and will be listed here. See staff notes in relevant sections.

Per UDO Subsection 14.19.06(H)(3)(b)(i) There shall be a higher ratio of window to wall along the ground floor than the upper stories of the same building as detailed in Graphic 14.19.06-12.

Staff Note: The proposed work replaces the existing windows with new windows at the same ratio that currently meets this ordinance.

Per UDO Subsection 14.19.06(H)(3)(b)(ii), The bottom of the ground floor windows must be no more than thirty inches (30”) above the sidewalk.

Staff Note: *The proposed work replaces the windows but uses the existing structure to place the new windows, therefore the proposed work is in compliance with this ordinance.*

Per UDO Subsection 14.19.06(H)(3)(b)(iii), The top of ground floor windows should be no less than eight feet (8’) above the sidewalk.

Staff Note: *The proposed work does not change the size of the windows and the existing storefront windows are 8’, or greater, above the sidewalk at the top of the window.*

Per UDO Subsection 14.19.06(H)(3)(b)(iv), The window to wall ratio should not exceed 75% of the ground floor façade area as detailed in Graphic 14.19.06-12 is measured from the average final grade of the façade to the roof for a single-story building and to the lowest point of the second-story floor support for multi-story buildings.

Staff Note: *The proposed work does not change the ratios of window to walls that currently exist on the building.*

Per UDO Subsection 14.19.06(H)(3)(d), The use of clear or lightly-tinted colored glass on windows and doors (minimum 70% VLT) is required. Spandrel glass is prohibited.

Staff Note: *The proposed work includes glass that meets this requirement.*

Per UDO Subsection 14.19.04(H)(3)(e), All entrance doors off of the primary and secondary facades must be architecturally compatible/sympathetic with the storefront of the building. In this section of the ordinance there are also images of acceptable door designs in the downtown district.

Staff Note: *The proposed door design and framework meets this section of the ordinance.*

Per UDO Subsection 14.19.04 (E)(1)(a), Buildings in the B1 Downtown Core District shall be constructed to the build-to line. The build-to line is the back of the required public sidewalk or the back of the street right-of-way along the primary public way. The building may be set back farther if the area created by an additional setback is designated as plaza space and/or landscaped greenspace that retains the intended connection between the publicly accessible pedestrian realm and ground level internal portions of the building.

Staff Note: *The replacement work proposed is in compliance with this ordinance as even though the entry way is set back from the public side walk the main portion of the building is built to the build-to line.*

Architectural Survey/Designation Report Information

The following three documents are central to the Downtown Boone Local Historic District:

1. [Comprehensive Architectural Survey of Downtown Boone, NC – Final Report](#)
2. [Report and Recommendation for the Designation of the Downtown Boone Local Historic District, Boone, NC](#)

3. [Downtown Boone Local Historic District Standards](#)

The designation report (#2 above), was created using the architectural survey of the downtown area (#1 above) and recommended the Downtown Boone Local Historic District area be designated as a historic overlay district; and the Downtown Boone Local Historic District Design Standards, which are outlined in a separate document (#3 above), are to be applied by the HPC when it considers applications for Certificates of Appropriateness for proposed development within the historic district.

Inventory Classification

The following information has been taken from the designation report starting on page 69. The property inventory found within the report was specifically written to assess the contributing significance and integrity of the district's resources. Integrity, as determined was based upon the following:

1. design integrity, meaning the building's relationship to its original appearance or altered appearance during the period of significance;
2. material integrity, meaning the building's relationship to original materials during the period of significance or replacement materials that mimic the appearance of original materials during the period of significance;
3. locational integrity, meaning the building's relationship to its original location during the period of significance;
4. integrity of association, meaning the building's relationship to its original or adapted use, function, and purpose during the period of significance; and
5. integrity of relationship to the district as a whole, meaning the building's historical importance to the development of downtown Boone's commercial district during the district's four periods of growth within the period of significance (1918-1964).

Inventory Classifications:

CA: Contributes to the character of the district based on architectural significance

CH: Contributes to the character of the district based on historical significance related to events or individuals associated with the property

NC: Non-contributing property

VL: Vacant lot

Designation Report

The Designation Report summary is included below (in blue), and the full Architectural Survey summary is included below.

Staff Note: The subject property is classified as CH.

CH means the property contributes to the district based on historical significance related to events or individuals associated with the property.

Architectural Survey

This is an update to the 1988 survey and the 2002 survey update. A full description of the exterior was never recorded in prior surveys. In addition, a massive rehabilitation of the west end of the building was completed in 2019.

This large, brick, two-story commercial block, consisting of three separately deeded buildings, fronts predominantly on West King Street and dominates the downtown cityscape. It has an architectural history that is inextricably linked to WT0590, which is located to the east, around which the easternmost part of the building wraps to the south, creating fronting space on Depot Street as well. Built on land purchased by George P. Hagaman from Watauga Supply Company in 1921 (Deed Book 27, Page 215), this commercial block was nevertheless part of a singular construction project completed in conjunction with the construction of WT0590 to the east. Articles describing the completion of both WT0590 and this commercial block as a single project in 1923 highlight the use of Johnson City shale brick and Indian limestone on the exterior. Clarence B. Kearfott of Bristol, Tennessee, designed the commercial block, which wrapped WT0590 on the west and south (*Watauga Democrat*, June 21, 1923). The north elevation

WT0589 Boone Hardware/Farmer's Hardware Block (1923) – 661 West King Street (2900-89-1049-000, 2900-89-1113-000)

This large, brick, two-story commercial block originally included three separately deeded spaces. It was completed in 1923 based on a design by Clarence Kearfott (1884-1977) that was part of a tandem project with WT0590, with WT0589 wrapping WT0590 to the south and west. The McGhee Brothers and W. B. Hodges were the principal contractors. Articles at the time emphasized the use of "Johnson City shale brick and Indian limestone" on the exterior. Four-course, Flemish cross bond was the prevailing masonry pattern. The main, West King Street elevation originally presented three distinct storefronts, with a single entrance splitting the space between the second and third storefronts from the east to provide access to the second floor. Reading from east to west, original first-floor tenants included Boone Hardware Company, T. Hill Farthing Department Store, and the new US Post Office for Boone. Second floor tenants included the Watauga Lodge, A. F. & A. M., No. 273, over the Farthing Department Store, with offices for Brown and Bingham (attorneys) and H. H. Greene, secretary of the Watauga Building and Loan Association, over the post office. When first built, the north elevation presented a uniform appearance, with storefronts spanned by stout, leaded glass, clerestory windows and a spanning limestone band between the first and second floors that served as a sill for the second floor windows. Rowlock bands capped by a basketweave pattern, an inverted sawtooth, "drip," corbel band in relief, and a limestone cornice cap led to a wide parapet coped in limestone. Storefront configurations changed overtime, of course, but the most jarring of these was the decision in 1965 to entirely remove the north elevation façade of the two west sections of the building, replacing it with a mishmash of tan, multicolored brick and structural panels, along with a corner window wall treatment at the northwest end of the building. This treatment was removed entirely in 2019, with Bill Dixon (Appalachian Architecture) designing a new façade that mimics and continues many of the original features of the north elevation while also employing sufficient differences to make the new construction distinct from the surviving elements at the east end of the façade. Many of the façade elements found on the north elevation can also be found on the east wall of the building at the south end of WT0590. Several additions in the twentieth century were made to the rear of the middle and west sections to bring the south elevation façade plane essentially flush with the south elevation of the east section of the building. Also of note is a geodetic benchmark— apparently the only one in downtown Boone—that was placed on the east elevation of the building in 1933, proclaiming the elevation to be 3,233.602 feet. This is noteworthy, as the elevation of Boone has frequently been reported to be 3,333 feet, based on a very early elevation reading taken near the 1905 courthouse, along with a bit of creative reporting by a local newspaperman.

fronting on West King Street originally presented three large storefronts, with a single entrance splitting the space between the second and third storefronts from the east and providing access to the second floor. Reading from east to west, original tenants included Boone Hardware Company in the first storefront (Section C), T. Hill Farthing Department Store in the second storefront (Section B), and the US Post Office for Boone in the third storefront (Section A). Second floor tenants included the Watauga Lodge, A. F. & A. M., No. 273, over the Farthing Department Store, with offices for Brown and Bingham (attorneys) and H. H. Greene, the Secretary of the Watauga Building and Loan Association, over the post office. Hagaman appears to have retained ownership of the first floor of the middle section, renting this space out to the Farthing Department Store, while the second floor was separately deeded to the Masonic Hall (Deed Book 38, Page 532). Hagaman also sold off three quarters of his interest in the post office section (Deed Book 29, Page 112), although the post office was there on a lease basis. The Boone Hardware Company owned the east section outright (Deed Book 29, Page 394). In 1931, Boone Hardware Company elected to merge with Farmer's Hardware and Supply Company, and the latter company bought out the former's interest in the eastern section of the block and relocated there that year (*Watauga Democrat*, February 5, 1931; Deed Book 40, Page 183). The east section of the block (Section C) has remained under the ownership of Farmer's Hardware since.

The tenant and deed histories of Sections A and B are quite complex, but an overview may help to understand the use of these two storefronts over the years. As mentioned previously, interest in Section A was initially divided between a three-quarter interest owned by one group of investors and the one-quarter interest owned by G. P. Hagaman.

Complicating matters was Hagaman's decision to further divide his remaining interest in the entire block with B. B. Dougherty (Deed Book 41, Page 38), thus creating two one-eighth interests in Section A. These interests changed hands numerous times over the next three decades, culminating in J. S. and Lillie Lyons eventually consolidating full interest over Section A and selling it to the Watauga Building and Loan Association in 1950 (Deed Book 66, Page 401). As for tenants, following the completion of the new post office across the street (WT0049) in late 1939, the space was briefly occupied by The Secondhand Store (*Watauga Democrat*, November 6, 1941), followed by the offices of the Blue Ridge Electric Membership Corporation in early 1942 (*Watauga Democrat*, January 8, 1942). In 1935 and again in 1946, as separate tenancies, the Lillian Mae Beauty Shop occupied the second floor over the post office space (*Watauga Democrat*, July 4, 1935; lease agreement, Deed Book 62, Page 225). The Lyons Thrift Shop appears to have occupied the old post office space for an unknown period of time in the late 1940s (*Watauga Democrat*, June 29, 1950). In 1950, the Watauga Building and Loan Association occupied both floors of the building following its purchase (*Watauga Democrat*, September 21, 1950).

Regarding Section B, T. Hill Farthing appears to have gone bankrupt in 1925, prompting Lloyd S. Isaacs to buy out Farthing's stock and take over his space in the middle storefront (*Watauga Democrat*, May 14, 1925). Farthing, it should be noted, was also operating the nearby Boone Trail Café in WT0588 about the same time (*Watauga Democrat*, August 1, 1929). A massive fire that originated in the Masonic Hall on December 16, 1931, caused substantial damage to the commercial block. News reports indicated that the "Isaacs dry goods establishment" and the Masonic hall were completely destroyed, while Farmer's Hardware was badly damaged (*Watauga Democrat*, December 17, 1931). Isaacs apparently did not return to the building, choosing instead to relocate in the Hahn Building (WT0597) before selling his business in May 1932 (*Watauga Democrat*, May 12, 1932). Instead, the Harris-Gaither Store moved into the space in June 1932 (*Watauga Democrat*, June 16, 1932) while in the midst of trying to close out the old Harris Brothers stock. The stay was short-lived, as a new business, Boone Department Store, opened

in the building in late 1932 (*Watauga Democrat*, September 1, 1932), which later gave way to the Crest 5 and 10 Cent Store in early 1937 (lease agreement, Deed Book 53, Page 237). Meanwhile, the Masons sold their interest in the second floor of Section B, over the Boone Department Store, in 1935 to the Daniel Boone Council, No. 129 Junior Order of United American Mechanics, who held onto the space for the next three decades (Deed Book 44, Page 339).

Crest remained on the first floor of Section B until its new building opened on the southeast corner of Depot and West King Street (WT0851) in 1940. Thereafter, beginning in 1941, Quality Shoe Shop occupied the middle storefront (*Watauga Democrat*, June 5, 1941).

Home Electric Supply Company appears to have occupied the storefront in 1945 (*Watauga Democrat*, November 8, 1945), remaining there for a couple of years. In 1947, C & E Auto Supply Co., colloquially known as the “Firestone Store,” opened in the space, remaining there until 1951 (*Watauga Democrat*, November 6, 1947). That year, Mast Supply Company, operated by Ralph Mast, took over the space (*Watauga Democrat*, November 15, 1951), but within months, Southern Sales Company bought out Mast, occupied the space, and signed a long-term lease with G. P. Hagaman and B. B. Dougherty, the co-owners of the space (*Watauga Democrat*, January 17, 1952, Deed Book 69, Page 374, and Deed Book 74, Page 127). Western Auto Supply Company, which—like Southern Sales Company—was also owned by J. C. Cline, appears to have moved into the space from WT0588 perhaps as early as 1956 (Deed Book 90, Page 311). Ultimately, in 1965, the Watauga Savings and Loan Association bought out the entirety of Section B, merging it with their holdings in Section A (Deed Book 94, Page 633, and Deed Book 94, Page 634) and completing a massive façade renovation of the center and west sections shortly thereafter. Watauga Savings and Loan Association eventually merged with Centura Bank in 1991 (*Rocky Mount Telegram*, March 4, 1991). Centura became part of RBC Bank USA in 2001, which in turn was sold to PNC Bank in 2012. In late 2017, PNC Bank sold the center and west sections of the commercial block to BOP King Street, LLC, which completed a massive rehabilitation of Sections A and B in 2019. As part of this work, the new owner completed a façade reconstruction that closely mimics the original façade of the two sections while also appearing distinct (*Watauga Democrat*, online, November 30, 2017, and February 15, 2018).

When it was first built, the north elevation of the entire block presented a uniform appearance with three distinct storefronts visible on the first floor. The Section C storefront featured a double-door, recessed entrance with a single light transom, flanked on either side by large, plate glass, shop windows with low, wooden bulkheads, both of which had recessing features angled from the façade plane toward the entrance doors in addition to those elements that were aligned with the façade plane. The entire storefront was spanned by a stout, leaded glass, three-part, clerestory window with square, pivoting lights at the center of each section, presumably to provide additional ventilation. The second floor of Section C offered three, double bays of one-over-one, double-hung sash, wooden windows with soldier course lintels. The entire façade of the block along all three sections featured a soldier course lintel band between the first and second floor, capped immediately by a limestone band that served as a sill for all second-floor windows along the north elevation. Above the windows was a complex cornice treatment, beginning with a band of rowlock bricks in relief, separated from a second band of rowlock bricks in relief by three rows of stretchers. Above the second rowlock band was a basketweave pattern of three stretchers to three soldiers in repetition. Immediately above this was an inverted sawtooth, “drip,” corbel band of bricks in relief, all of which supported the limestone cornice cap. The wide parapet above this was coped with another band of limestone. Today, all of these brick and limestone elements survive on Section C of the building. The first floor shop entrance, however, was drastically altered in 1953 as a

“sign of progress,” when Farmers Hardware installed a “modernistic slanting front” (*Watauga Democrat*, July 16, 1953). This configuration essentially survives today. The main, double-door entrance is slightly recessed from the façade plane and slightly off center to the east, with the angled front beginning at the far west end of the façade and inverting toward the east. The entrance consists of aluminum doors in an aluminum frame with a large, aluminum-framed transom overhead. Two large, plate glass windows in aluminum frames with aluminum bulkheads are located to the west of the entrance, while a single, narrow, plate glass window with aluminum frame and bulkhead is to the east of the entrance. From there, the shop windows return perpendicularly to the façade plane, with a narrow, plate glass, aluminum-framed window with an aluminum bulkhead at the far east end of the façade. The entire storefront is then framed on the façade plane with a treatment of black, structural glass, covering entirely the original, large, spanning, clerestory window of the storefront, although it is believed that this element may survive underneath.

Section B repeated many of the elements described for Section C when first built, although its entrance was a single door rather than double doors. Nevertheless, the conventional, recessed entrance with flanking, angled, plate glass shop windows with low, brick bulkheads rejoining the façade plane and additional flanking, plate glass windows with low, brick bulkheads was present at least into the 1960s. Above the entire storefront was another stout, spanning, clerestory window identical to that found above Section C’s storefront, although later tenants, beginning with Crest in 1938, often covered this clerestory window with signage. The second floor, from east to west, offered a single, one-over-one, double-hung sash, wooden window, followed by a slightly separated, double bay of identical windows, followed by a slightly separated, single window identical in design. All had soldier course lintels. Just to the west of this, between Sections A and B, was a single, one-over-one, double-hung sash, wooden window with a soldier course lintel, directly above the first floor, with a single, wooden door with large transom that provided access to the second floor. For many years, an unusual, wooden structure was visible on the roof of Section B. Some have speculated that this may have been a lookout tower of some sort, but a circa 1938 image suggests that it may have been a covering for some sort of object—perhaps a bell associated with the fraternal activities on the second floor of Section B. This feature is no longer present. Sometime between 1928 (Boone Sanborn) and 1939 (Cultural Resources Department image), a one-story heating plant was added to the rear (south elevation) of the building. Sometime after 1963 (Appalachian Collection, 5015_096_03), a two-story addition along the south elevation brought the south elevation façade plane even with the south elevation of Section C.

The original entrance to the post office in Section A, meanwhile, was a double-door entry that was flush with the façade plane, not recessed, with a wide transom over the two doors. Large, plate glass windows in wooden frames with low, brick bulkheads flanked the entrance, and a large, spanning, clerestory window was located over the entire storefront. Three single, one-over-one, double-hung sash, wooden windows were present on the north elevation of the second floor, although the middle window may have been slightly larger than the other two. In 1950, however, The Watauga Building and Loan Association purchased Section A and drastically altered the north elevation from the brick area between Section B and the doorway to the second floor all the way to the west corner of the façade, installing a PermaStone application over the entire first floor of Section C up to the limestone sill band below the second floor windows and altering the entrance so that it was a modern, aluminum-framed, plate glass window door with flanking, plate glass sidelights, over which was a wide transom. PermaStone separated this entrance from flanking, narrow, single, fixed-light, plate glass windows in aluminum

frames. This configuration is visible in two images by Palmer Blair from 1954 (Pal-Bla-03-691 and Pal-Bla-03-692). About ten years later, when the Watauga Savings and Loan Association (as it was then known) acquired Section B in 1965, another alteration dramatically changed the appearance of the entirety of the north elevations of Sections A and B, as well as the northwest portion of the west elevation of Section B. Rather than applying a new treatment, Watauga Savings and Loan actually removed the entire north elevation façade of Sections A and B about 20 feet deep into the building, resulting in the appearance of these two sections at the time of the initial survey. Sometime after 1963 (Appalachian Collection, 5015_096_03), a two-story addition along the south elevation also brought the south elevation façade plane even with the south elevation of Section C. These façade elements were removed as part of the renovations completed in 2019.

Today, Section C is the only portion of the building that retains the bulk of its original brickwork, which is in Flemish cross bond in a ratio of four courses of running bond to each course of Flemish bond. The rest of the north elevation retains its appearance from 1953, as previously described, save for the addition of a metal-frame, quarter-round, vinyl awning that obscures the structural glass covering the original clerestory window space over the first floor storefront. At the second floor window, the original windows in the double window bays have been removed and replaced with metal-frame, vertical, two-light windows. This awning had been temporarily removed for repairs to the parapet wall that were underway at the time of the original survey photos, but it is now back in place. As previously mentioned, the north elevations of Sections A and B, however, were removed entirely circa 1965 and replaced with the façade visible in 2015, which no longer allows these sections to be read as two distinct storefronts.

In 2015, the north elevation was clad in a mishmash of tan, multicolored brick and structural panels. The west third of the north elevation was dominated by a large, aluminum frame, plate glass, and structural panel window wall set between two brick columns that created the appearance of stunted towers. This window wall was divided into three parts, consisting of a wide center section flanked by two narrow sections. At the ground floor level, a single, aluminum-frame and plate glass door with narrow sidelights served as the entrance into the building, with a large, rectangular transom overhead. Flanking this entrance were two of the narrow sections, each divided to create the appearance of smaller transoms in the narrow, upper lights. Two additional sections above this maintained the general, tripartite division of the first floor. This window wall feature allowed passersby to view the large, wood-paneled, open foyer with its curving staircase rising to the second floor. To the east of this entrance tower, the space was more traditionally divided into what appeared to be a first and second floor. At the first floor level, reading east to west, was a slightly recessed, brick wall with an area that once housed an ATM machine. To the west of this was an area with a brick, rowlock sill that appeared to have been a window at some time but had been filled with four vertical, metal-framed, structural panels. A brick bulkhead undergirded this former window space. Between the first and second floors was a narrow band of parging over an unknown material, probably concrete. Above this, five brick, tower-like features with concrete caps alternated with four narrow sections of structural panels and windows. Each section was arranged with a vertical, structural panel at the base, a three-light window, aluminum-framed complex near center, with a large, fixed middle light, a hopper window at bottom, and an awning window at top. The westernmost window complex had been removed and replaced with a structural panel. These structural panel and window combinations were also capped with concrete.

Following the renovations completed in 2019, sections A and B still read as distinct from Section C, although together they now present a more uniform appearance. In an effort to show the connection with Section C, Bill Dixon, the architect for the project, reintroduced the limestone corbel band with the sawtooth, “drip” treatment below, as well as a low, parapeted roofline similar to the original, although it now stands slightly higher than Section C to the east. Second floor windows are somewhat irregularly spaced and do not match the original placements. All second floor windows are one-over-one, double-hung sash, metal windows. A spanning limestone band serves as a sill for the windows, with a soldier course brick band below dividing the first and second floor spaces. Many other aspects of the original brick design seen on Section C are also present on the north elevation, although the Flemish cross bond pattern was abandoned for running bond. The first floor storefront configuration is distinctly modern, however, abandoning any hint of clerestory windows for a two brick, basketweave frieze panels between the first and second floors. Show entrances are recessed in a rectilinear fashion, with modern, metal- frame windows with rowlock sills providing visual access to the shop spaces. A recessed entrance at the center of the new configuration leads to an elevator that goes to modern, loft apartments on the second floor. Flat, cable-hung awnings—never a prior feature at the building—overhang the storefront entrances.

The west elevation of the commercial block fronts on an alley that divides WT0589 from WT0588. The north quarter of this west elevation was marked by the running bond, multicolored, tan brick that comprised the 1965 façade replacement, within which was set an aluminum-framed, twelve-light, window wall feature comprised of four sections of a large plate glass light over a smaller plate glass light with a large, structural panel above. In completing the 2018-19 renovations, Dixon wrapped many of the features from the north elevation onto the north quarter of the west elevation. Two one-over-one, double-hung sash, metal windows with rowlock sills are new features on the second floor at the north end of the west elevation, with a quadruple bay of metal windows with a rowlock sill, not unlike those on the north elevation, visible at the first floor shop level.

Immediately south of 2018-19 reconstruction is a narrow section of red replacement brick featuring at least two different brick stocks arranged in a loose, running bond pattern with frequent use of headers as spacers, all of which was presumably necessary to repair damage caused by the façade removal in 1965. This field of new brick ties in with what appears to be the original, multi-colored, red brick of the west wall of the original Section A, which is in Flemish cross bond in a ratio of four courses of running bond to each course of alternating stretcher and header bricks. Each floor featured four, elongated window piercings with soldier course lintels that had been bricked in with several stocks of replacement brick, but in 2018-19, Dixon opened up at least two of these and created two other new window piercings, each of which sports a one-over-one, double-hung sash, metal window with a rowlock sill. At the roofline, the parapets step down toward the south and are coped in terracotta. To the south of this is the post-1963 rear (south) addition, which is clad in bright red brick stock that does not match the original building. Rapidly stepped parapets coped in aluminum step down along the west elevation of this addition. In 2015, reading north to south, the first floor of the west elevation of this addition offered a door piercing that had been filled in with brick (now opened and covered with a flat, cable-hung awning), while the second floor offered a bricked over window piercing with an air conditioning unit protruding from the piercing (now opened again), followed to the south by two additional, symmetrically spaced piercings with one-over-one, double-hung sash windows—one vinyl, one wooden—with brick, rowlock sills. Windows in these piercings as of 2019 are all new, one-over-one, double-hung sash, metal windows.

Keeping in mind that Section C wraps WT0590 to the south, the south elevation is entirely associated with WT0589. Each section is clearly discernible. As of 2015, the first floor of Section A, which was comprised of running bond brick, offered a window piercing at center that had been bricked in and covered over by utility boxes. The second floor offered two symmetrically spaced, one-over-one, double-hung sash, vinyl replacement windows with brick, rowlock sills. The flat roof was clad in rubber. A parapet firewall between Section A and Section B was clearly visible and coped in metal. Section B offered a post-1963, two-story addition that had clearly replaced the one-story, heating complex located at the south end of Section B in 1947. The south elevation of this addition was composed of running bond brick and was mostly featureless, save for a single, metal door on the ground floor near the southwest corner. A small portion of the south elevation of the original Section B building was visible from the top deck of a parking garage located due south of the property. It revealed an otherwise featureless brick wall arranged in Flemish cross bond in a ratio of four courses of running bond to each course of alternating stretcher and header bricks. Soldier course lintels for a large piercing at center and smaller piercing to the right of this were visible just above the flashing for the flat, rubber roof of the south, post-1963 addition. The flat roof of the original part of Section B was also clad in rubber. A narrow chimney was tucked into the southeast corner of the original part of Section B, north of which was the firewall between Sections B and C. At the time of this writing, work on the rear of Sections A and B was not yet complete, so an updated description reflecting the 2018-19 renovations is not yet available. It is assumed that any existing windows have likely been replaced with the modern, one-over-one, double-hung sash, metal windows found elsewhere in the renovated sections.

Section C is somewhat unusual, in that its roof actually slopes toward the south at a low angle. It is clad in rubber, with a stepped parapet firewall clearly visible between it and WT0590 to the east. At the southeast corner, the tower element rises well above the roofline and appears to have been built up even further over its original appearance sometime after 1963. Concrete block is clearly visible along the west face of the expanded tower, suggesting that it was expanded to provide improved roof access. The entirety of the south wall of Section C is dominated by a large, iron staircase that climbs from the south parking lot to the second floor level, where an iron walkway with concrete flooring spans nearly the entire second floor. Both the staircase and the walkway offer simple, iron balustrades, and both features rest on steel posts set in stout, concrete bases. Brick on this south elevation is arranged in Flemish cross bond in a ratio of four courses of running bond to each course of alternating stretcher and header bricks. The second floor level offers a single, modern, steel door with a square, upper light, all of which is set in a wooden surround. A soldier course lintel above the door is not sufficiently wide for this feature, suggesting that the door appears in place of a small window piercing that originally occupied this location. Four other, irregularly spaced window piercings are visible on the upper floor, the west three each sporting an eight-over-eight, double-hung sash, vinyl replacement window with a soldier course lintel and an unusual brick, header sill with a projecting tier of stretchers immediately below. The easternmost piercing has been bricked over, although it retains its lintel and sill features. The first floor level offers five irregularly spaced window piercings that roughly correspond in position to those of the second floor. The western two piercings have six-over-six, double-hung sash, vinyl replacement windows with vinyl frames that do not properly fit the soldier course lintels and unusual, triple tier, brick sills that originally framed these piercings. The eastern three piercings have been bricked in, and in the case of the middle window, portions of the sill have been chipped away to provide a connection point for the large, iron staircase. A vast expanse of wall below these windows is featureless brick, accounting for the drop in grade from West King Street to the south elevation of Section C. The concrete foundation is clearly visible, and four window piercings within that foundation have been bricked in. At the far, east end of the south elevation is the aforementioned brick tower feature, intended to mimic the appearance of the north elevation of Section C. The unusual inverted, sawtooth, “drip,” corbel band

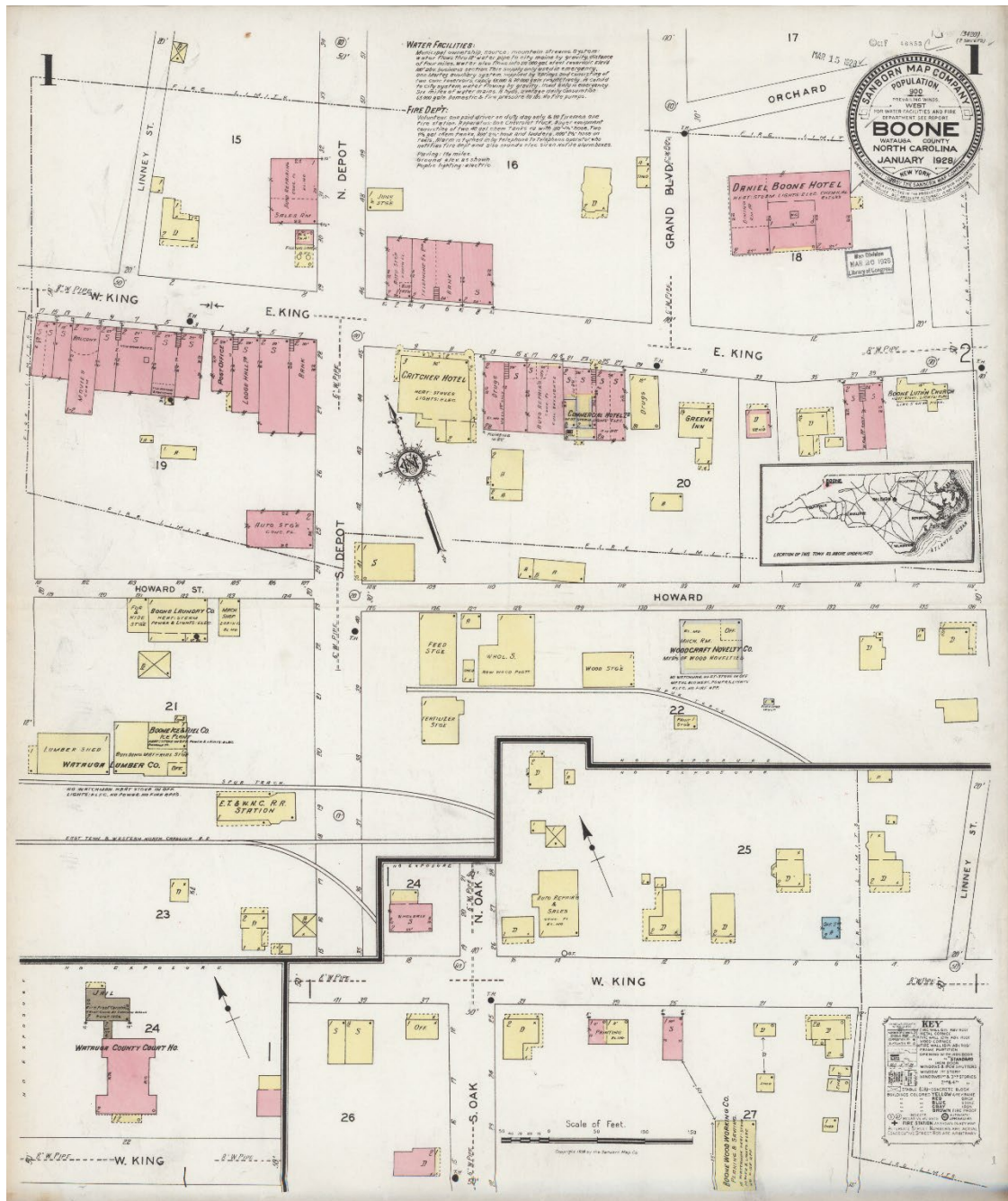
with its limestone cornice cap is visible, as well as the original limestone coping for this tower, but an additional section of brick has been added atop the old coping and to the west, which is in turn coped with its own limestone treatment.

Wrapping onto the east elevation along Depot Street, these additions to the southeast tower continue for a short distance, then step down to the original limestone coping, which runs to its intersection with the southeast corner of WT0590. Brick on this east elevation is arranged in Flemish cross bond in a ratio of four courses of running bond to each course of alternating stretcher and header bricks. The inverted sawtooth, “drip” corbel band and limestone cornice cap also continue along the east elevation until they intersect with WT0590. Below this, at the second floor level, are four symmetrically spaced window piercings, each with a soldier course lintel. A run of projecting, rowlock brick serves as a sill for these window piercings. The southernmost piercing appears to have always been bricked in, while the three windows to the north are now narrow, single light, fixed windows, replacing the one-over-one, double-hung sash windows visible in 1950 (Pal-Bla- 02-004). Reading from south to north, the first floor level of the east elevation offers a long, narrow window piercing with a soldier course lintel and a double-tier, projecting sill; this piercing appears to have always been bricked in. To the east is an even larger window, which was originally a large, fixed window in a wooden frame with a transom light over it, with a soldier course lintel above. Today, this piercing contains a steel-framed window divided into four fixed lights. To the east of this what was originally a long, narrow piercing similar to the south piercing on this floor has been partially bricked in at center, creating two smaller windows; the upper portion is a fixed, single light with a rowlock sill and the original soldier course lintel, while the bottom section is a one-over-one, double-hung sash window with the original, double-tier sill. The basement level, reading from south to north, offers a single window piercing with soldier course lintel and double-tier sill; like the features above it in this tower section, this window appears to have always been bricked in. To the north of this is a deeply recessed, aluminum, double-door entrance into the basement shop space, now occupied by Benchmark Provisions. To the north of this is a deeply recessed, two-light sliding window that appears to have been added by expanding a window piercing that originally mirrored the south window piercing on this floor of this elevation. Shed-style, vinyl awnings are mounted over the entrance and this north window.

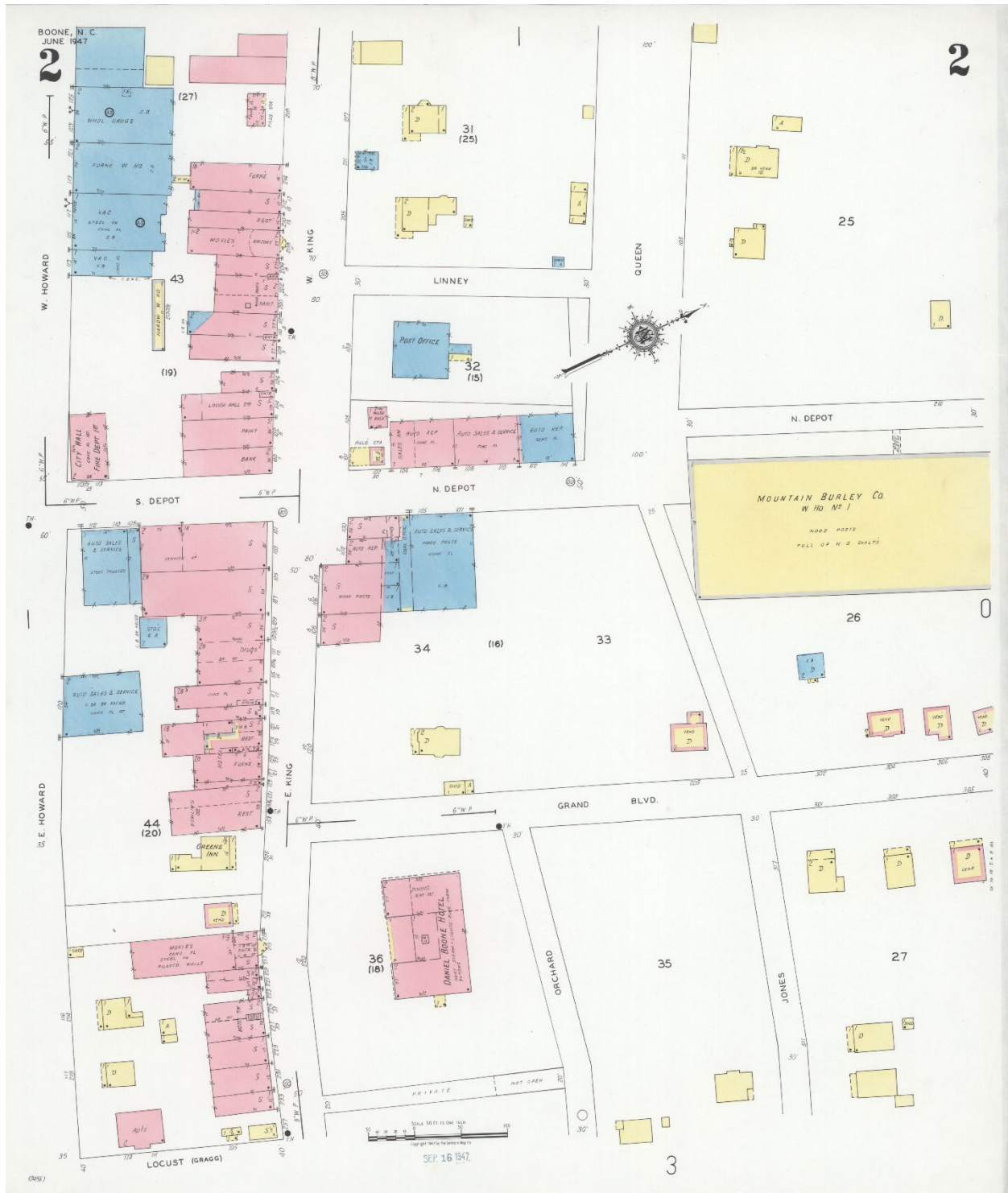
One additional, noteworthy feature located at the extreme southeast corner on the east elevation of WT0589 is a geodetic benchmark, placed in 1933, proclaiming the elevation to be 3,233.602 feet. This is noteworthy, as the elevation for Boone is often reported by historical sources (and on souvenir items even today) as 3,333 feet. Writing for the *Watauga Democrat* in 1953, Rob Rivers, Jr., attempted to address this confusion, noting that former elevation readings were likely taken at the 1905 Watauga County Courthouse, which was substantially “up the hill” from WT0589. Official “government” readings listed 3,332 feet, according to Rivers’s source, “but it was way back when the *Watauga Democrat* concluded that the four 3s in a row would work good, and the elevation of Boone has been such till this good day. It’s not off but a little, really, and none at all if one measures from one of the little elevations in the town” (*Watauga Democrat*, April 16, 1953).

Library of Congress - Sanborn Fire Insurance Maps

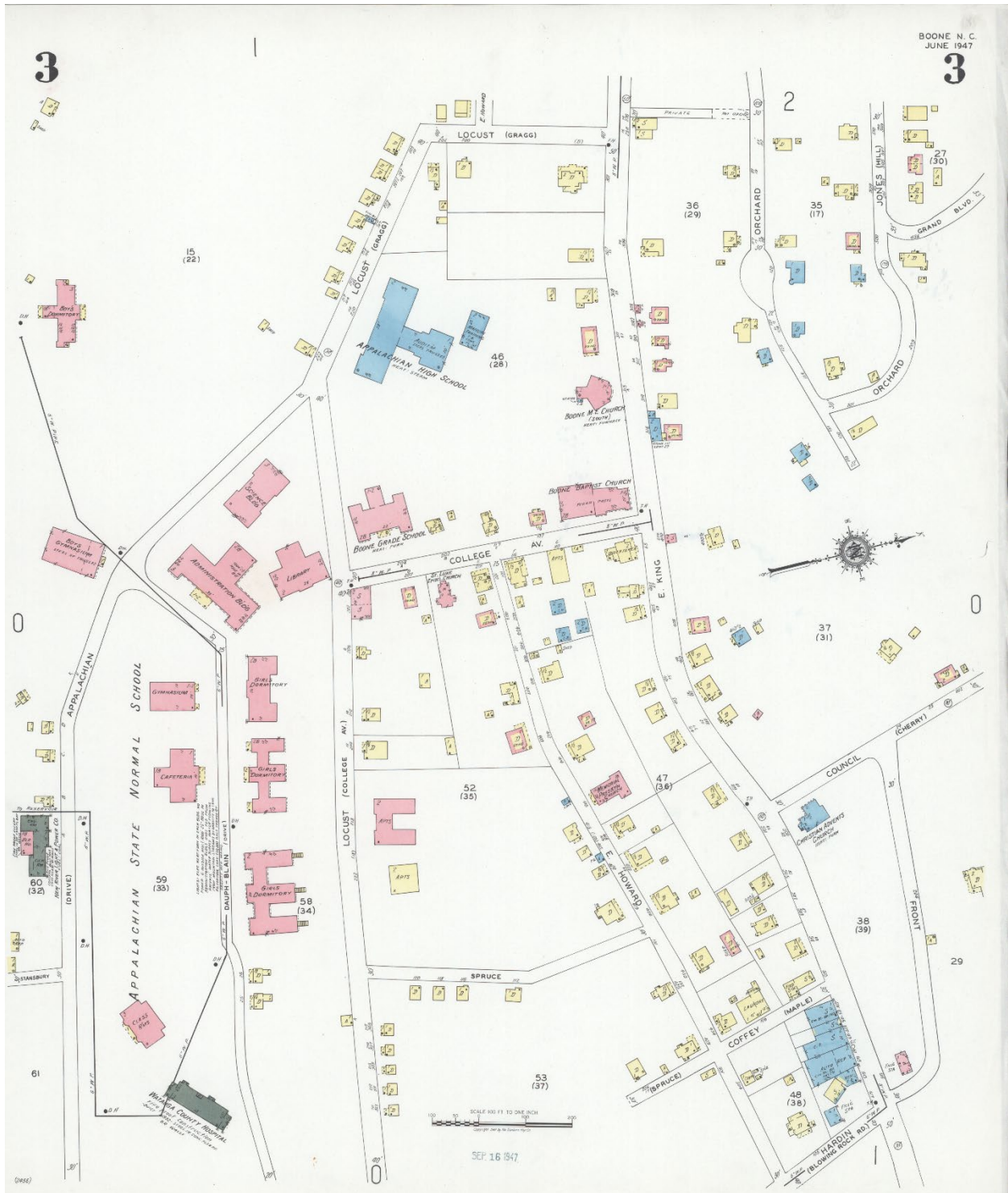
The Library of Congress has made Sanborn Fire Insurance Maps from 1928 and 1947 accessible. As these years fall within the historic district's period of significance (1918-1964), these maps will be used when the property in question, or area of the property in question, can be viewed within these maps. The content of the Library of Congress online Sanborn Maps Collection is in the public domain and is free to use and reuse.



Sanborn Fire Insurance Map from Boone, Watauga County, North Carolina. Sanborn Map Company, Jan, 1928. Map. https://www.loc.gov/item/sanborn06383_001/.



Sanborn Fire Insurance Map from Boone, Watauga County, North Carolina. Sanborn Map Company, Jun, 1947. Map. https://www.loc.gov/item/sanborn06383_002/.



Sanborn Fire Insurance Map from Boone, Watauga County, North Carolina. Sanborn Map Company, Jun, 1947. Map. https://www.loc.gov/item/sanborn06383_002/.

Downtown Boone Local Historic District Design Standards and Handbook Analysis

Narrative

Relevant design standards from UDO Appendix D, Downtown Boone Local Historic District Design Standards and Handbook, Design Standards for Commercial Properties within the District, are outlined below. These Standards for Commercial properties are intended to address many of the most common issues to arise during renovations, additions, and new construction in the District. Where the Standards are silent on a particular issue or concern, the HPC will rely upon the Secretary of the Interior's Standards for Rehabilitation to guide their review of the proposed work under the COA process and any subsequent recommendations.

Design Standards for Commercial Properties

"Commercial Property" Defined

A **commercial property** within the District is any property whose purpose-built function at the time of construction was primarily to serve a commercial, institutional, or governmental purpose or use. More specifically, commercial properties include 1) any building whose original configuration included commercial, institutional, or governmental uses on the ground floor accessed via the entrance(s) located on the primary elevation, even if residential spaces were available elsewhere in the building (such as a commercial block building with stores on the first floor and apartments on the second floor), or 2) any building with a garage bay or bays on the ground floor accessed via the entrance(s) located on the primary elevation and commercial, institutional, or governmental spaces located elsewhere in the building (such as a garage building with an office or store located on an upper floor or in the basement).

Any property within the District whose purpose-built function at the time of construction was to serve solely as a residence for long-term (greater than 30 days) occupants, even if the property currently serves a commercial use, is still considered a residential property. For standards for residential properties, please see the "Standards for Residential Properties within the District" section elsewhere in this publication.

1. Storefronts, Upper Facades, Side Elevations, and Rear Elevations

Downtown Boone is dominated by historic properties that reflect the commercial block architecture that was so common and influential during the period from 1910 to 1960 in many American towns and cities. In the case of the District, commercial block development began around 1919 and continued to the early 1960s. Central to this architecture is the importance of the storefront itself, whose familiar architectural details—large display windows, transom bars and windows, clerestory recessed entries, and prominent cornice and corbelling work—frequently signaled to customers not only the function of a business but also the quality of its wares. Many other elements—including projecting, flat awnings anchored to the façade with cables or steel rods, or fabric awnings amounted on metal frames, hinged or unhinged—provided customers with shelter from the elements while window shopping or otherwise enhanced the shopping experience. After 1950, many of these architectural details were removed, either in response to decay of these features or in an effort to "update" a building to the stylistic preferences of a later time. One such example is the Appalachian Theatre on West King Street, whose original Art Deco marquee and structural glass were removed during the late 1970s in response to safety concerns. Other elements—most notably transoms and clerestory windows, as well as the details of upper facades—were simply covered over and may still survive today underneath modern additions to the facades of many of Boone's historic downtown properties in the District.

Similarly, secondary and tertiary elevations of many of Boone's historic commercial properties are vital to the character and integrity of its downtown commercial district. Often, significant side (secondary) elevations are located on corner buildings adjacent to two or even three streets, but sometimes such

details are visible on mid-block buildings separated from nearby buildings by an alleyway or a vacant lot. Many of these buildings retain original fenestration, entrances, brickwork, and/or advertisements (some of the “ghost ad” variety) that contribute in their own significant way to the architectural character of the downtown historic district. Similarly, rear (tertiary) elevations can possess many of these same characteristics and also reveal much about the history of a property because of their frequently utilitarian design intended for the workers, owners, and residents who most often saw these rear elevations.

In an effort to preserve what remains of the District’s historic commercial architecture and encourage the reconstruction or rehabilitation of elements that have been removed or covered over, the standards for storefronts, upper facades, and other elevations are intended to facilitate preservation and reconstruction wherever possible while also addressing new construction and its compatibility with the rest of the District.

- 1.1 Whenever possible, historic storefronts and storefront features such as entrance configurations, display windows, doors, clerestory windows, transom bars and windows, bulkheads, corbelling, cornice work, windows, stonework, stringcourses, structural glass, and other architectural flourishes should be retained and preserved. When repairing these features, retain and preserve in place original elements as much as possible. If repair is not possible, replace damaged elements with materials that match the originals in composition, design, texture, color, and other visual qualities.
- 1.2 When reconstructing an historic storefront, upper façade, or other elevation, use historical research and evidence as the basis for the design. Reconstructed storefronts should incorporate original dimensions, proportions, and architectural elements.
- 1.3 In making changes to storefronts or other elevations to comply with code or accessibility requirements, avoid destroying historic materials and features and select configurations that have minimal intrusion or impact on the character-defining aspects of the property in question.
- 1.4 When original or early storefronts or upper facades no longer exist, are too deteriorated to save, or cannot be reconstructed based on the available documentary evidence, retain the commercial character and any salvageable architectural details through a contemporary design that is compatible with the scale, materials, color, style, design, and texture of the surviving and surrounding historic buildings.

2. Architectural Components and Details

Exterior architectural components, including door and window casings, storefront configurations, cast iron ornamentation, stone relief, cornices, columns, brackets, porch railings, soffits, fascias, roof configurations, trim details, architectural flourishes, and various joinery and surface patterns all contribute significantly to the character and historical integrity of properties located within the District.

Because many of these components are either irreplaceable or very expensive to reproduce, they should be maintained and valued in the same way that one might consider an important family heirloom or expensive antique furniture. In many cases, missing or damaged architectural details can be replaced with like items from salvage yards, antique shops, or mail order companies that specialize in replacement of historic architectural components. If such items cannot be replaced, many construction supply companies stock simulations of period architectural components that are approved by the Secretary of the Interior and the National Park Service as suitable historic replacements. In any event, before replacing any exterior

architectural component, property owners should familiarize themselves with the architectural style and historic characteristics of their building to avoid introduction of inappropriate elements.

- 2.1 It is important to preserve character-defining, historical, architectural features of exterior walls, such as cornices, friezes, medallions, sunbursts, brackets, bays, turrets, fascias, quoins, columns, brickwork, string courses, and decorative moldings. Original architectural details should always be retained if structurally feasible, even if portions of the original material are damaged or deteriorated to a point requiring replacement. If original details are missing, design replacement features based on historic photos and other documentation.
- 2.2 It is NOT appropriate to cover or remove rather than repair or replace in kind such features when they are deteriorated. If replacement is necessary, the new materials should match the materials being replaced in composition, design, texture, color, and other visual qualities. Original architectural features that are covered should be uncovered, exposed, repaired and/or restored, and maintained.
- 2.3 It is NOT appropriate to cover or replace historic materials with substitute materials, such as aluminum, vinyl, fiber cement board siding (or similar materials simulating the appearance of wood), or plywood panels. Architectural details that are not appropriate to the historic context and character of a building should never be added. At the same time, property owners should never use details from an earlier period to try to make a building look older than it is.
- 2.4 Historic architectural metals, such as pressed tin, aluminum, and cast or wrought iron, should always be retained. If these items are not repairable due to rust or other deterioration, replacement materials should duplicate the form, details, texture, material, size, shape, color, pattern, and composition of the original. When cleaning of architectural metals is necessary, use the gentlest methods possible, such as water, a gentle, non-caustic soap, and soft bristle brushes.

4. Masonry

Many commercial properties in the District are composed of brick or stone masonry, and it is imperative that original masonry materials—many of which have a weathered appearance reflecting the history of the building—remain preserved whenever possible. For this reason, masonry should never be cleaned unless it is determined that perceived “dirt” is actually accumulated deposits and not the effects of weathering. If cleaning is pursued, always use the gentlest method available, preferably with low-pressure water, a mild, non-caustic detergent, and a natural bristle brush where needed. In addition, while re-pointing is sometimes necessary when mortar is missing or moisture problems have developed, it should only be completed in a manner that avoids smearing the mortar onto the surface of the masonry.

Terracotta, stucco, and concrete are other masonry elements that are occasionally found on historic commercial properties in Boone. In addition, many historic commercial properties feature chimneys, arches, quoins, lintels, sills, cornices, corbelling, and pediments that are all essential to the historic character of the building in question.

- 4.2 Whenever feasible, historic masonry, including decorative masonry features, should be repaired rather than replaced or covered. When replacement is necessary, it should always be completed using traditional materials of like composition, size, color, shape, pattern, texture, and quality to the originals that are being replaced.

- 4.3 Re-pointing of masonry should also be completed using materials that duplicate the existing mortar in appearance, texture, and color. Colored sands or mineral-pigmented mortar can be used to achieve a match with the existing mortar. Portland cement should be avoided in mortar, as it may produce a mortar that is stronger than the surrounding masonry, potentially causing the masonry to crumble.
- 4.5 When repairing or replacing masonry or mortar, take care to maintain the alignment, bond pattern, joint spacing, color, texture, and size of the original masonry.

6. Windows, Doors, and Awnings

The arrangement of doors and windows on an historic property is one of the most important elements of building design. It is imperative that these arrangements be preserved in order to maintain the integrity of individual historic properties and the integrity of the District. Because older windows and doors were not always designed with heating and cooling efficiency in mind, it is often tempting to property owners to replace these features with modern doors and windows. Despite the apparent advantages of doing so, replacement with modern doors and windows is often far more expensive than repairing existing historic doors and windows, and their use often completely destroys the integrity of the historic property in question. Furthermore, many companies are now producing “modern” wood replacement windows that replicate the appearance of their historic antecedents with fixed muntins but feature double-pane glass to assist with heating and cooling efficiency. The HPC reviews proposals for the use of modern wood replacement windows carefully to insure that muntin thickness aligns with the muntin dimensions of historic windows.

Boone’s downtown commercial historic district has also suffered from the installation of various architectural elements designed to simulate a “mountain village” appearance. These typically consist of large, wooden porch attachments or awnings that are not historically appropriate to the downtown area and its historic context. Metal and modern vinyl awnings have also appeared on some properties, disrupting the integrity of many of Boone’s historic commercial properties.

- 6.1 The pattern, arrangement, location, size, and shape of windows and doors contribute significantly to a building’s historic character, and their consistency within the district helps unify the buildings in context to one another. For this reason, it is always preferable to repair damaged windows and doors rather than replacing them. Furthermore, it is imperative that the fenestration pattern of the door and window openings on the building and of the doors and windows themselves (muntin width, number of lights per sash, etc.) be maintained when repairs to or replacement of elements is underway. It is never appropriate to introduce new features, such as vents, bays, windows, or door openings, in exterior walls if they diminish the historic character of the wall or damage historic materials.
- 6.2 Whenever possible, the original window and door hardware should be preserved and maintained, as these components are also vital elements of historic properties.
- 6.3 Whenever possible, other original window and door elements, such as sashes, glass, sills, frames, casings, weather-stripping, lintels, architraves, surrounds, and shutters, should be repaired rather than replaced. This includes sidelights and fanlights on both doors and windows, which are vital architectural elements that help identify the style and period of a particular property. Snap-in muntins are not historically accurate and should always be avoided.

- 6.4 Unless restoring the appearance of a building to its original, historic context, the pattern, arrangements, and dimensions of doors and windows on principal elevations should be retained. On tertiary elevations not visible from the street, new door or window openings should be proportionate to existing ones and include matching design elements.
- 6.5 Reflective or tinted glass is not historically accurate to the District or its historic properties and should never be used. Property owners whose buildings already possess reflective or tinted glass should endeavor to replace this glass with materials that are more historically appropriate to their building and the District.
- 6.6 In cases where historic windows are deteriorated or damaged beyond repair, replacement windows on historic properties must match the original, historic window casings, sash details, and muntin divisions. In most cases, this will mean the use of true, divided light sashes, rather than sashes featuring simulated divided lights. Grids between glass (GBG) windows, vinyl replacement windows, and windows made of fiberglass, aluminum, or other materials that are incongruous to the District are not permitted. For new windows in new construction or an addition to an historic property, new windows may use simulated divided light sashes (with muntins permanently attached to the interior and exterior of the window panes and a matching space in between the glazing) that approximate the general appearance of windows in other residential properties in the District.
- 6.9 It is appropriate to have original windows repaired and storm windows added to historic properties. This approach is preferable to replacement of original windows. Storm windows protect original windows, reduce heat loss, and are not a permanent change to a structure when installed properly. Original window and door elements should never be damaged or destroyed when storm windows or doors are installed on historic properties. Storm windows and doors should blend with the historic property, rather than appearing to be tacked on as an afterthought. Storm doors should have full glass with no meeting rails or muntins, while storm windows should have a meeting rail that aligns with the meeting rail of the window.
- 6.16 New construction, additions, and renovations to existing historic buildings or properties within historic districts should maintain established proportions and spacing of window and door openings.

8. Entrances, Porches, and Balconies

One of the most significant and defining characteristics of all architecture is the main or front entrance, including any porches that surround or frame that entrance. While most of the commercial buildings in the District employed conventional storefront configurations (see Section 1 of these commercial standards), a handful of properties in the District do not employ traditional commercial entrance configurations. These properties include the Boone Post Office (WT0049), the Wade E. Brown Law Office Building (WT0586), the Watauga County Office Building (WT0607), and the Boone Recreation Parlor (WT0869). Retaining the original porch and entrance components of these buildings is especially important for understanding the building's history in context with the District. Unfortunately, main or front entrances are also often the most altered elements of historic properties.

Many historic entrances, porches, and balconies contain architectural elements that are essential to communicating the architectural style of the home. Machine-carved balustrades, spindles, brackets, entrance surrounds, and posts were common in many of the District's buildings, but hand-worked

elements were also not uncommon. Preserving these details is vital to preserving the appearance and integrity of the District’s historic architecture.

- 8.1 Entrances, porches, and balconies, as used in this section, include front (primary elevation), side (secondary elevation), and rear (tertiary elevation) porches, mudrooms, porticos, sleeping porches, balconies, pergolas, terraces, widow’s walks, and entrances. Components of porches include steps, balustrades, columns, trellises, skirt boards, fascias, brackets, and various ornamental details. Most original porches and balconies were built with a slight pitch away from the residence to facilitate the runoff of rainwater.
- 8.2 Because of their architectural significance, porches, balconies, and entrance configurations—especially those on the front or primary elevation—and all of their architectural details (steps, balustrades, brackets, spindlework, columns, roofs, etc.) should be preserved in their original form and detail whenever possible. It is inappropriate to enclose porches and balconies on the front (primary) elevation for use as an interior space. In addition, the original pitch of porches and balconies should be maintained in order to facilitate the runoff of rainwater and snowmelt. Porches and balconies must be properly maintained and repaired as necessary, as they are exposed to the weather and will deteriorate if regular maintenance is not conducted.
- 8.4 If an historic porch or balcony requires replacement of original materials, use only materials that are compatible with the original materials associated with the porch or balcony. These replacement materials should match the previously existing historic materials in composition, size, shape, texture, pattern, color, and detail.
- 8.7 Original porch steps should always be retained. If repair or replacement of porch step materials is necessary, the design, configuration, dimensions, and materials should match the original as closely as possible. In addition, historic stairways and walkways in front of a building—even though not technically part of the building’s architecture—are nevertheless an important part of the landscape that accompanies the property and often inform the architectural style and patterns of the property. These elements should always be retained and repaired with appropriate materials whenever possible.

12. Additional Standards on Artificial Materials

While most of the historic properties in the District were built using traditional materials (such as kilned brick, wood trim, structural glass, and native stone), over the years, some properties have been covered with aluminum, vinyl, asbestos, plywood, parging, modern brick veneers, simulated stone, pre-formed concrete panels, cast concrete patterned to look like stone or brick, or other non-traditional materials. Due to the loss of both historic character and original materials inherent in the application of such substitute materials, the damage caused during installation, and the potential for undetected insect infestation and moisture damage, the practice is not acceptable for a historic property in the District.

- 12.1 The removal of previously installed substitute materials of all types is strongly encouraged.

Design Standards for Historic Streetscapes, Landscapes, Monuments, and Other Resources in the District

1. Streetscapes

In contrast to the natural elements around which communities are often organized, historic streetscapes instead represent the built environment that defines the character, context, and components around which a community grows and evolves. Typically, buildings are the most obvious and dominant streetscape features, but this type of landscape includes other elements, including the spaces between buildings, private yards, alleyways and streets, sidewalks and other pedestrian elements, lighting, fences, public benches, retaining walls, monuments, public art, and street signage.

With regard to all streetscapes in the District, the following standards should be observed:

- 1.1 The form, scale, and massing of building facades located along public ways should be preserved.
- 1.2 The width, alignment, and configuration of streets, alleys, sidewalks, and walkways within the District should be retained and preserved.
- 1.3 The intended sightlines and views of historic public monuments and public art should be maintained.
- 1.13 New paving and sidewalk materials, especially new accessibility features, should be designed to be consistent with the character and appearance of historic paving materials.
- 1.15 Materials, architectural features, and entrance orientations of all historic buildings associated with historic streetscapes should be preserved and maintained. Non-historic architectural features, including promenades, porches, and other additions to buildings intended to create an imagined “mountain village” appearance that is not an accurate reflection of the District’s historic buildings and streetscapes, should be removed and/or altered to more accurately reflect the context and history of Boone’s streetscapes. When possible, public-private partnerships, including programs like the Main Street Façade Grant program, should be utilized to restore historic streetscape features.

Automatic Conditions of Approval

The following conditions are automatically included and a part of any approval.

- Where there is a conflict between the application information and the plans (March 27, 2025), the plans control. Insignificant deviations may be permitted to comply with the requirements of the UDO.
- Any commitments and representations concerning the proposed exterior modification made by the applicant or its representatives at the public hearing shall also become a condition of the permit, and a basis for a stop work order and/or permit revocation if violated.
- The applicant shall submit the necessary applications, plans, details and specifications which meet the requirements of the Town Code, UDO, Building Code and any other applicable codes for review and approval necessary to issue Zoning and Building Permits.

Historic Preservation Commission Procedure

In considering this application for a COA the HPC shall base their decisions solely on the basis of competent, material and substantial evidence entered into the record via the application packet and sworn testimony at the public hearing.

When making the motion for approval, the Commission should consider that unless the Commission explicitly orders otherwise, every approval is conditioned upon the development being completed in accordance with the plans submitted by the applicant, the commitments and representations concerning the proposed development made by the applicant and representatives at the public hearing, and final conformity with all requirements of the UDO.

The question before the Historic Preservation Commission is whether or not the proposed development is congruous (i.e., in agreement, in harmony) with the special character of the historic district. If the proposed exterior modification is congruous, the Commission shall issue the requested COA. If the proposed exterior modification is incongruous (not in agreement, not in harmony) with the special character of the historic district, the Commission shall deny the requested COA. The Commission shall approve, approve with conditions, or the deny the COA by majority vote.

Vote: The proposed development ☐ is congruous OR ☐ is incongruous with the special character of the Downtown Boone Local Historic District and is approved subject to the following conditions (as warranted):

1. Conditions:

Criteria for Conditions: The Commission may issue approval subject to reasonable conditions necessary to carry out the purposes served by the historic district (see G.S. 160D-940, 160D-947(a)). The purposes of the historic district are to (i) safeguard the heritage of the town insofar as the Historic District embodies important elements of the town's culture, history, architectural history, and/or prehistory, and (ii) to promote the use and conservation of the district for the education, pleasure, and enrichment of the residents of the town and/or the State as a whole, see North Carolina G.S. §160D-940, 944, 947(a).

Historic Photos

Below is a collection of historical photos of the subject property, obtained through a collaboration with Digital Watauga. The photos are displayed in their original size and resolution, as well as in a cropped version that highlights the main features of interest. For each photo, there is a citation.

Staff Note: Planning Staff did not alter or edit the photos in any way, but only arranged them in this document for presentation purposes. Photos attached here are the best available with the clearest and most complete images of the subject property. Any commentary on the images is from the Digital Watauga technician(s) who found and sent the images to Planning Staff.



Image courtesy of the Downtown Boone Development Associate Collection, Digital Watauga Project



Image courtesy of the Jackson Henson Collection, Digital Watauga Project



Image courtesy of the John Ward Family Collection, Digital Watauga Project



Image courtesy of the John Ward Family Collection, Digital Watauga Project



Image courtesy of the Paul and Ruby Weston Collection, Digital Watauga Project



Image courtesy of the Rosalea Dorsey Collection, Digital Watauga Project

We are seeking a COA for The Farmers building at 661 West King St. Boone, NC. We intend to replace the glass windows and doors comprising our storefront entrance. There is no request to modify the opening or new construction, just the upgrading of commercial windows and doors.

In section 6.2 of the Standards, it is mentioned that repairing windows and doors whenever possible is preferred. In our case repair is no longer possible. Commercial windows are no longer constructed the way ours is and the parts for the doors are discontinued.

Currently, our storefront is an eyesore of rusting/corroding and dented steel and aluminum framework, tired-looking scratched and weathered glass, and doors that have lost their functionality. As I understand it, our large windows made of heavy single pane glass, that shake ominously in the winter wind (no wind rating), are now too large and out of code.

One side of our double door entrance cannot even be used anymore. It must be bolted shut all the time because it swings too fast making it dangerous for anyone passing through. Occasionally, we must remove both doors to grind off some of the bottom because over time they sag and scrape the threshold, and replacement pivots are no longer available. Miller Industries indicated years ago on a repair call that parts were no longer available for the door set.

As you can see in detail in the application, we are seeking to replace the old metal and glass with attractive matte black anodized aluminum and double pane energy efficient glass matching the look of many of our neighbors including Ben and Jerry's and Alumni Hall. The original windows and doors were black trim as you can see in the (c. 1930) and (c. 1940) photos included. Around 1960 that was replaced with steel/aluminum and glass we have now. And around 1998, the now obsolete door set was installed.

We love our old building and its history. Our great-grandfather bought the building in 1932, and it looks much the same as it did that day, as it should. However, some elements cannot be preserved or replaced exactly like they were, the methods and materials change over time. We want to preserve the history of our building, but we also want a functional, safe, and attractive entrance for our many customers.

Brandon Landon
Shoppes at Farmers
Farmers1924@gmail.com

July 8, 2024
24538q01
828-406-2632

Brandon: RE: 661 West King Street – New storefront
Boone, NC

We propose to provide the following work based on your instructions, as per our attached sketch dated 6/10/24

- Remove existing aluminum frame and glass
- Provide and install new aluminum storefront frame and entrance
- Pair of doors to be narrow stile with the following hardware: continuous hinges, surface closers, push bars, pull handles, ms lock, flush bolts (inactive leaf), threshold, and sweeps
- Finish to be black anodized
- Pair of doors to be 30" equal (overall 60" wide)
- See sketch attached

Caulking of our work with our standard sealant is included. **Demolition** of existing work is included. **Owner's material** is handled at owner's risk. **Cleaning & Protection** of our work from damage by others is not included. **Structural criteria:** 21 PSF (90 MPH wind); L/175; 3/4" MAX. **Safety Glazing** is limited to conformance with Federal Law 16CFR1201. **Errors, acts or omissions** by others are not our responsibility to identify or determine. **Exclusions** include, but are not limited to, testing, fireproofing, insulation, bracing, wall flashing, patching, restoration of concealed conditions, barricading, guarding, marking, utilities, permits, cleanup, trash removal, liquidated damages, prorated penalties, or back charges. **Insurance** is statutory WC and \$2,000,000 BI, PD & Auto. **Warranty** on our workmanship is for one year; manufacturer's warranty varies. **Quote is based** on the use of this proposal or a Standard AIA Subcontract, to which this proposal shall be bound and prevail. **Custom contract forms** will not be considered, unless reviewed and accepted by us prior to bid time. **Pay if paid** clause is not acceptable. **Lien rights** shall not be voided, waived or impaired by anything in the contract or invoice forms, except to the extent payment has been received. **Contract documents** referenced specifically or in general terms, but not actually provided or seen, do not apply. **Minimum notice**, subject to material availability, is 72 hours. **Schedule** is subject to our review. **Our quote is not limited** to specific brands. **Work** will be performed during normal KGI business hours.

We will furnish necessary labor, material, tax, insurance, and services for:

Base Bid \$20,629
Alternate: To include hold open arms for closers ADD \$135

Terms without established credit: \$100 or 50% deposit, whichever is greater, with balance upon completion.

Terms with established credit: A 10% retainage is allowed until 50% completion; thereafter 5% is allowed until our completion. Net due 20th of month on invoices rendered by the preceding 25th, with retainage due within thirty days of our completion. A charge of 2%, costs and attorney's fees apply to past due balances each month.

Quote Is Void In: 30 days **Shop Drawings:** 3-4 weeks **Material Delivery:** 10-12 weeks **Installation:** 1 week

Sincerely,

[] Notice of Intent [] Acceptance (select one)

Keller Glasco, Inc.

By: Brandon Langdon Date: 07/09/2024

Cody Fox Ext. 108

Signed: Brandon Langdon Title: Owner



Exhibit 4		ARCHITECT APPROVAL	CONTRACTOR APPROVAL	CONTRACTOR'S DIRECTION IS REQUESTED
				OUR SCHEDULE OF MATERIALS SHOWS WEEKS LEAD TIME REQUIRED AFTER ORDERING ACTUAL "MAKE SIZES", WHICH CANNOT BE CUT OR ALTERED AFTER FABRICATION. WE CAN WAIT TO FIELD MEASURE FINISHED OPENINGS, OR IF FRAME OPENING SIZES (FO) & RELATIONSHIP WITH SURROUNDINGS ARE GUARANTEED, WE CAN EXPEDITE PROGRESS BY ORDERING FROM OUR SHOP DRAWINGS. KELLER GLASCO IS RESPONSIBLE FOR DIMENSIONS WITH THE (FO). PLEASE DIRECT US. [] WE ARE WILLING TO WAIT FOR MATERIALS ORDERED AFTER YOU FIELD MEASURE. [] WE WISH TO EXPEDITE JOB PROGRESS BY GUARANTEEING TO HOLD OUR OPENINGS IN ACCORDANCE WITH FRAME OPENING (FO) SIZES SHOWN ON YOUR SHOP DRAWINGS PROJECT MANAGER DATE CONTRACTOR
GENERAL NOTES		SPECIFICATIONS		
1. THESE DRAWINGS HAVE BEEN PREPARED BASED ON INFORMATION OBTAINED FROM PLANS, ARCHITECT, AND GENERAL CONTRACTOR.		MANUFACTURER: TUBELITE		
2. ALL DRAWINGS SHOWN ARE NOMINAL AND BASED ON THE ARCHITECTURAL DRAWINGS. KELLER GLASCO TO FIELD VERIFY ALL OPENINGS BEFORE FABRICATION UNLESS OPENING DIMENSIONS HAVE BEEN GUARANTEED BY THE GENERAL CONTRACTOR.				
SYMBOL LEGEND		SYSTEM: T14000		
X DETAIL CALLOUT X GLASS TYPE MARK SLIDE DIRECTION ⌀ CENTERLINE				
				DOOR: NARROW STILE
		FINISH: BLACK ANODIZED		
		FASTNERS & ANCHORS: ZINC PLATED		
		ISOLATION: NON METALLIC SHIMS		
		PERIMETER CAULK: BLACK URETHANE		661 W. KING ST. BOONE, NC 28607
				KGI CONTRACT #:24-190
ANNOTATION LEGEND		ARCHITECT	GENERAL CONTRACTOR	KELLER GLASCO INC
B.O. = BY OTHERS CTC = CENTER TO CENTER LH = LEFT HAND RH = RIGHT HAND LHR = LEFT HAND REVERSE RHR = RIGHT HAND REVERSE A.F.F. = ABOVE FINISH FLOOR F.O. = FRAME OPENING F.S. = FRAME SIZE D.O. = DOOR OPENING OPP. = OPPOSITE ALUM. = ALUMINUM G.C. = GENERAL CONTRACTOR ARCH. = ARCHITECT SIM. = SIMILAR				PHONE #: 423-282-1210
				2711 EAST OAKLAND AVENUE JOHNSON CITY, TN 37602-4109
				CHECKED / SUBMITTED BY: CODY FOX
				EMAIL:CFOX@KELLERGLASCO.COM
				DATE SUBMITTED:12/9/24
		CITY:	CITY:	DRAWN BY: ALEX REED
		STATE:	STATE:	EMAIL: AREED@KELLERGLASCO.COM

¢

SCHEDULE OF MATERIALS

MATERIALS	MANUFACTURER / FABRICATOR	LEAD TIME
GLASS TYPE: G1	GUARDIAN/TRULITE	6-8 WEEKS
ALUMINUM STOREFRONT	TUBELITE/KGI	3-4 WEEKS
PERIMETER SEALANT	TREMCO	1-2 WEEKS

GLASS SCHEDULE

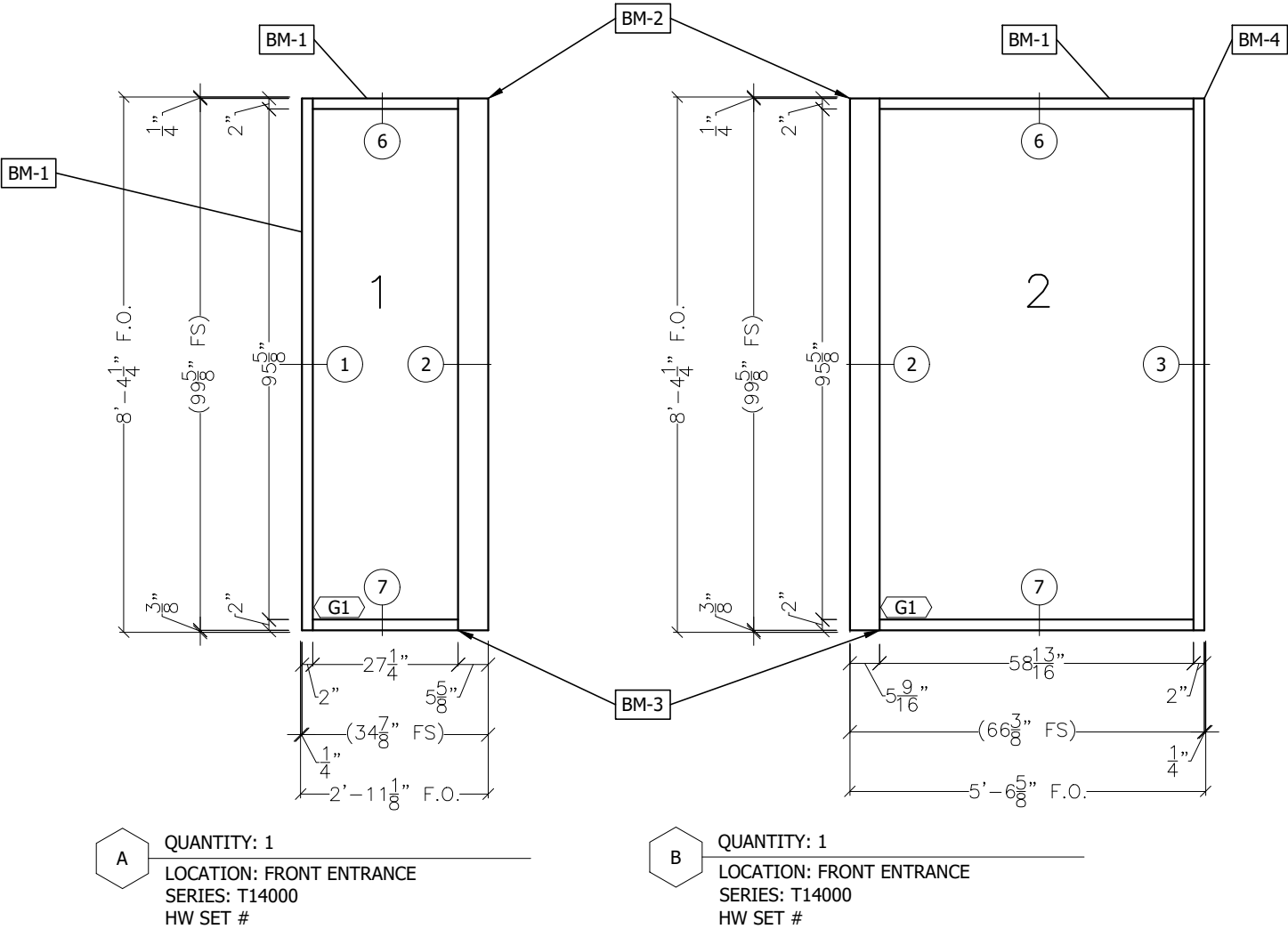
GLASS: G1
DESCRIPTION: 1" TEMPERED CLEAR LOW-E
MAKE-UP: 1/4" TEMPTERED CLEAR W/ SNX 62/27 ON #2 + 1/2" AIR SPACE + 1/4" TEMPERED CLEAR

DOOR SCHEDULE

DOOR NUMBER	DOOR STILE	SINGLE OR PAIR	RIGHT OR LEFT HAND	DOOR OPENING (D.O.) WIDTH X HEIGHT	HARDWARE SET	GLASS TYPE IN DOOR
001	NARROW	PAIR	N/A	60 X 84	SET 1	G1

HARDWARE SET #1
PROVIDED AND INSTALLED BY KGI

HARDWARE FINISH: BLACK ANODIZED	
HINGE: SELECT SL-11 CONTINUOUS HINGE	1
CLOSER: INTERNATIONAL 1804BC SURFACE CLOSER	1
PULL HANDLE: TUBELITE'S, 1" DIA., 8" CTC, 3 1/2" OFFSET	1
PUSH BAR: TUBELITE'S STANDARD, 1" DIA.	1
LOCK: ADAMS-RITE MS1850 MORTISE DEADLOCK	1
CONSTRUCTION CORE: MORTISE TYPE	1
THRESHOLD: TUBELITE 1/2" SADDLE X LENGTH, MILL	1
SWEEP: WOOL SWEEP	1



KELLER**GLASCO****INC**

JOB: 661 W. KING STREET

SCALE: 3/8"=1'
(ELEVATION)

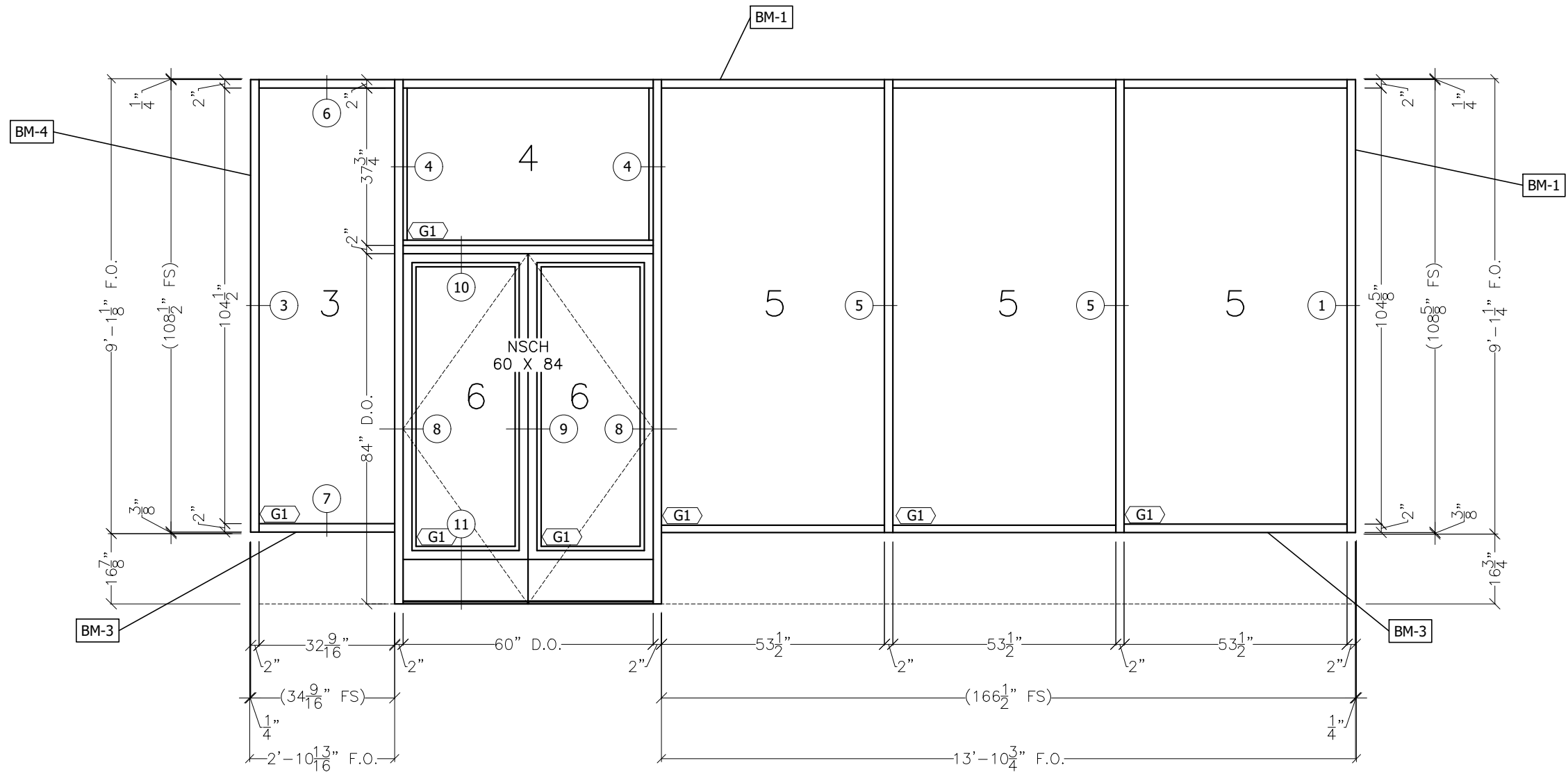
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JOB #: 24-190

DATE: 12/9/24

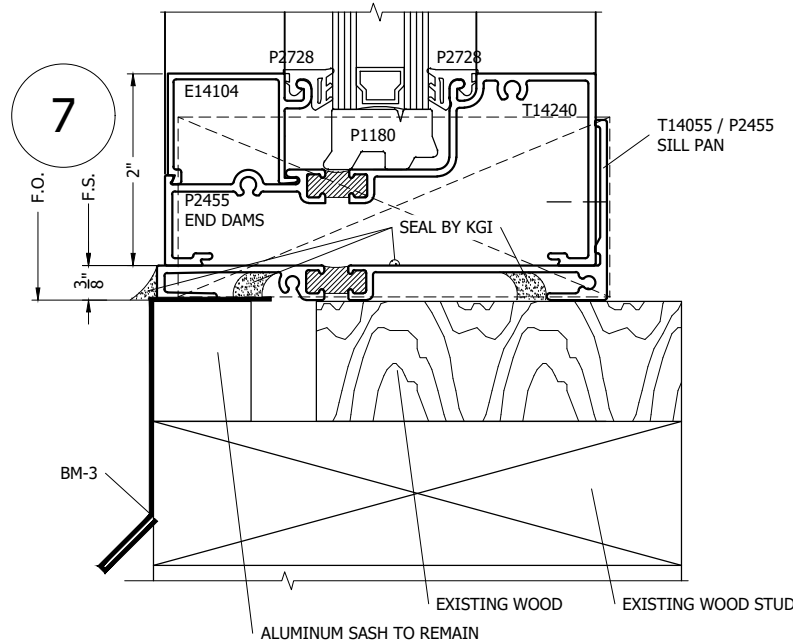
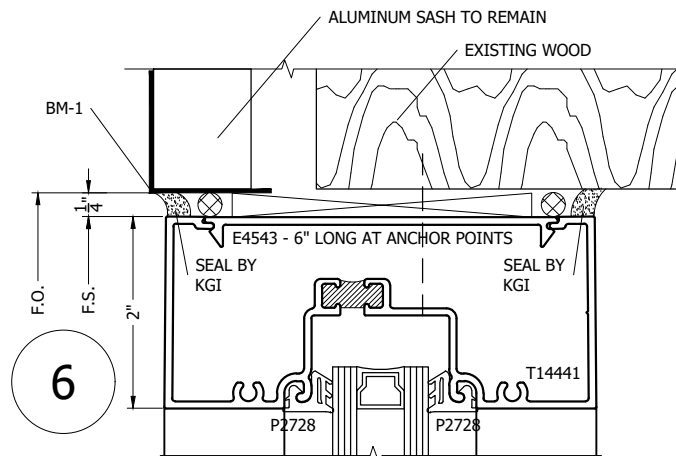
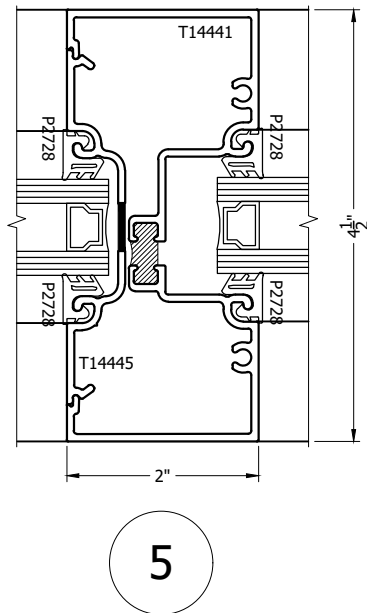
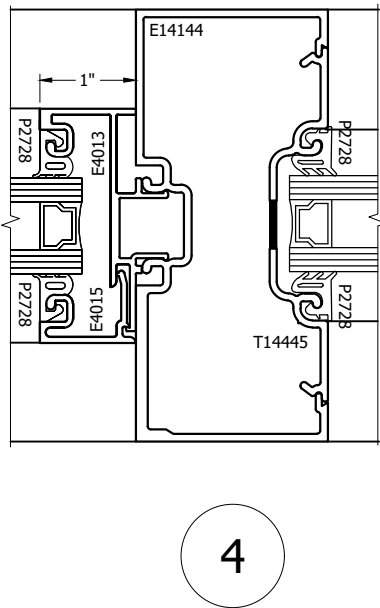
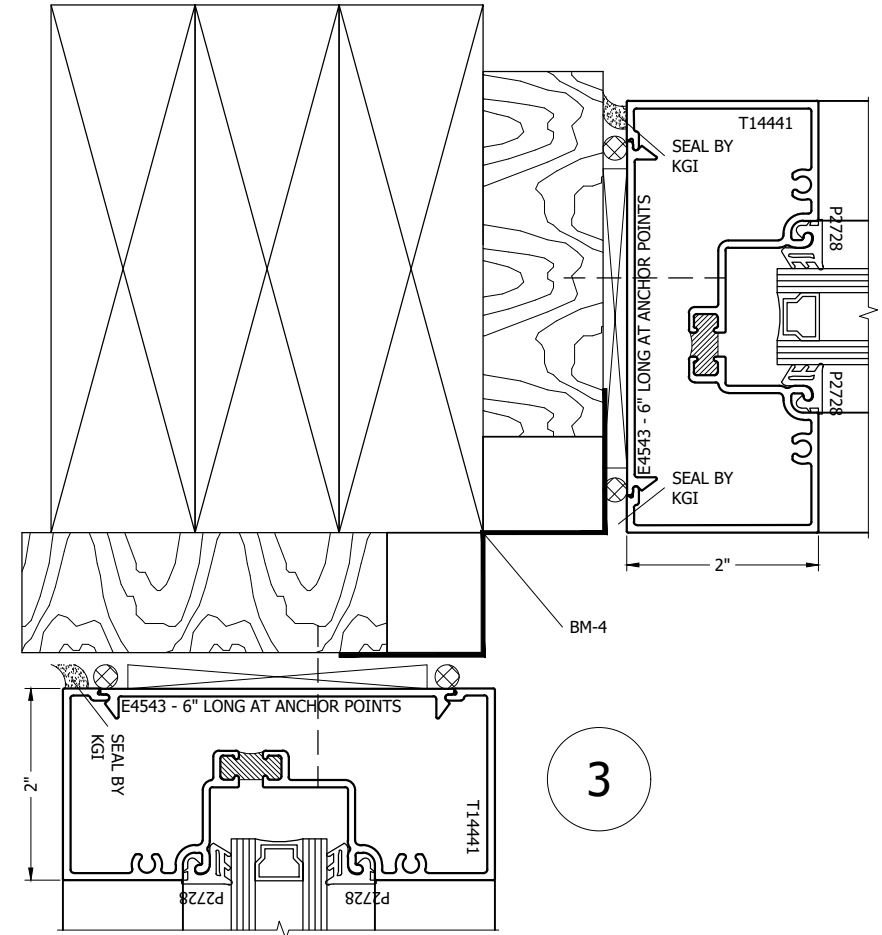
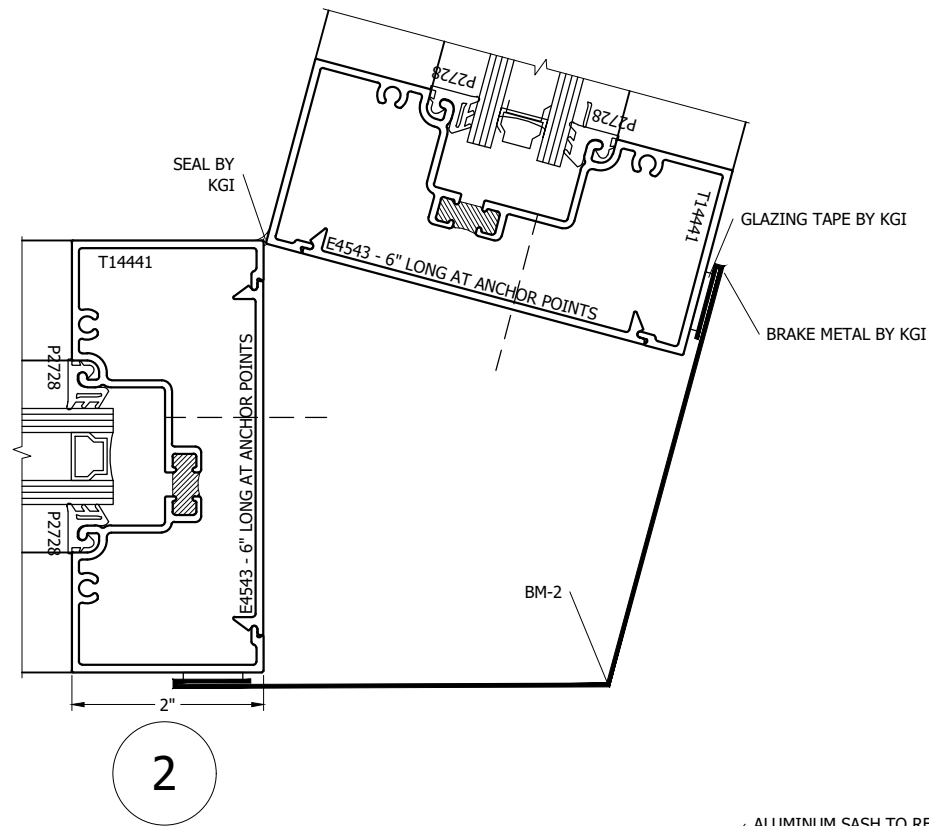
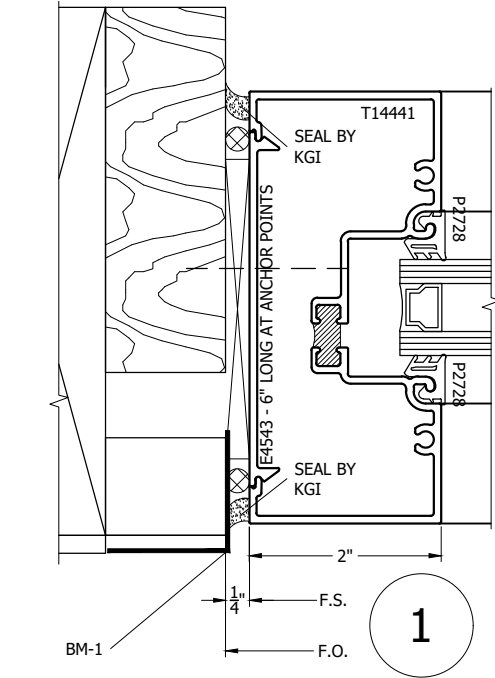
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SHEET: 2 OF 5

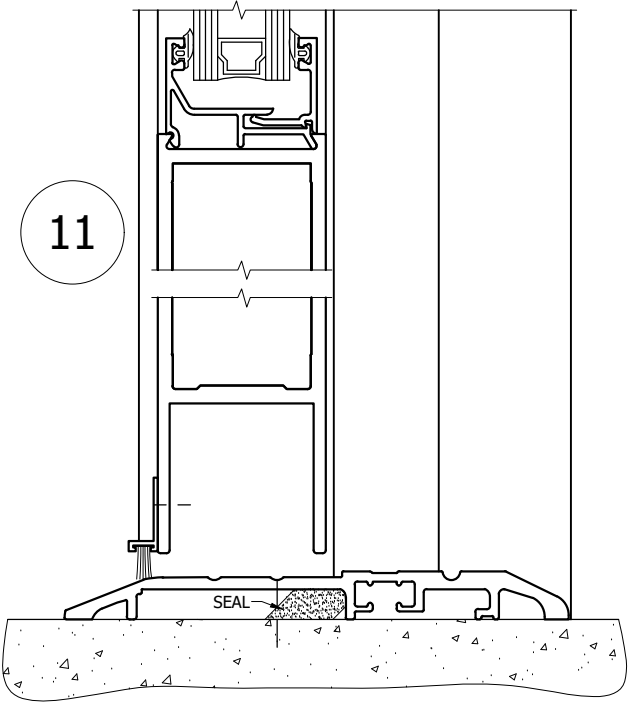
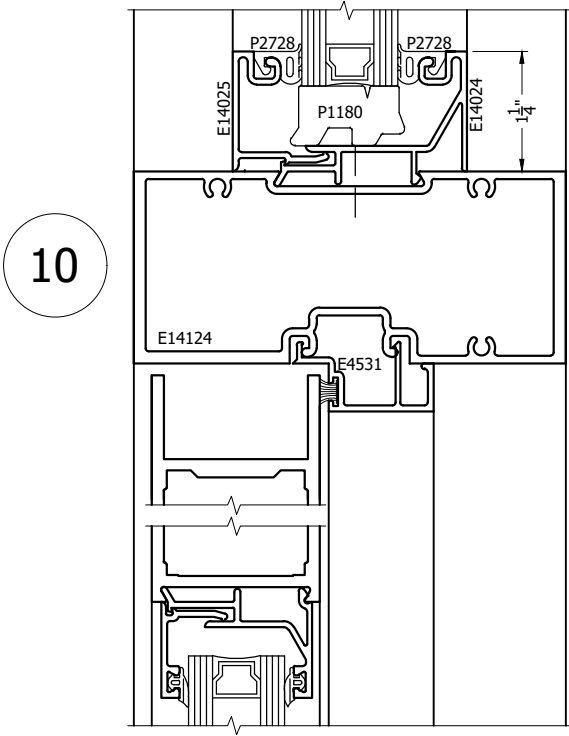
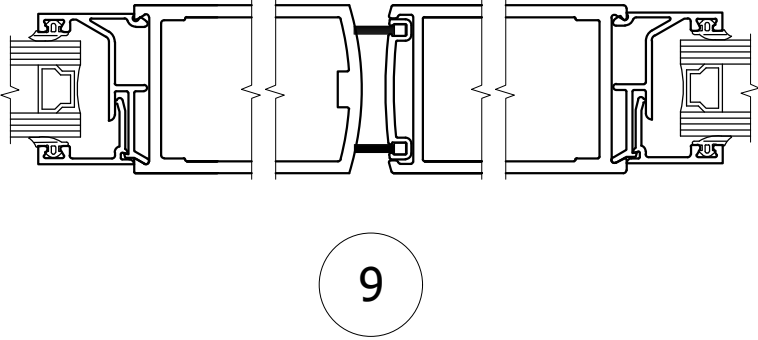
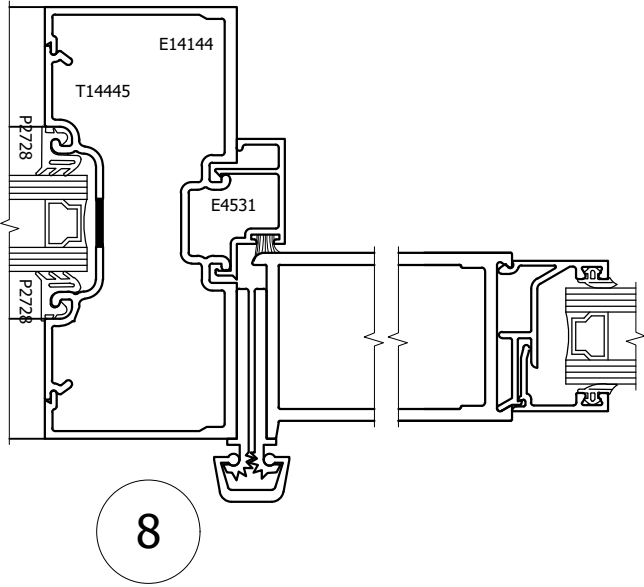


C QUANTITY: 1
LOCATION: FRONT ENTRANCE
SERIES: T14000
HW SET #1

KELLER GLASCO INC		
JOB: 661 W. KING STREET		JOB #: 24-190
SCALE: 3/8"=1' (ELEVATION)	6"=1' (SECTION)	DATE: 12/9/24
DRAWN BY: AR	CHECKED BY: CF	SHEET: 3 OF 5



KELLER GLASCO INC		
JOB: 661 WEST KING STREET		JOB #: 24-190
SCALE: 6"=1'		DATE: 12/9/24
DRAWN BY: AR	CHECKED BY: CF	SHEET: 4 OF 5



KELLER GLASCO INC

JOB: 661 WEST KING STREET		JOB #: 24-190
SCALE: 6"=1'		DATE: 12/9/24
DRAWN BY: AR	CHECKED BY: CF	SHEET: 5 OF 5

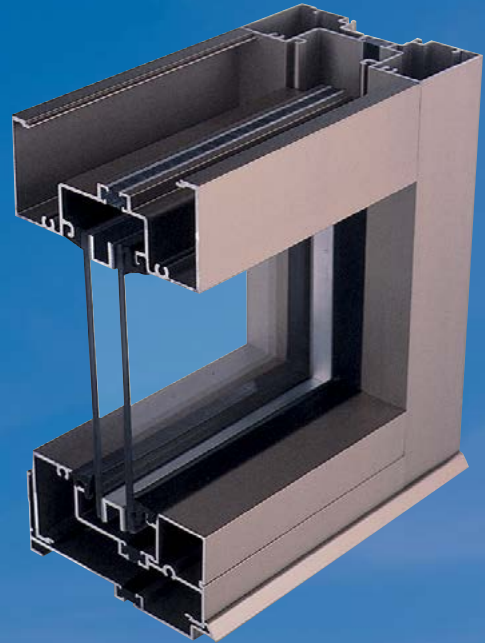
T14000 Series Storefront

Single cavity pour and debridge thermal barrier

For optimal strength and thermal performance, use Tubelite's 14000 Series Storefront Framing, a flush-glazed system for use on storefront and low-rise applications. Framing is available in standard single cavity pour and debridge thermal barrier members with 2" x 4-1/2" profiles and a 3/8" bite for use with glass or panels up to 1-1/8" thick. Extra-heavy intermediate verticals are available for high performance against strong windloads.

Reduce project labor costs with the flexibility of inside or outside glazing. Members can be assembled using screw spline or clip joinery, and framing is compatible with Tubelite Narrow, Medium and Wide Stile Doors.

Our 14000 Series Storefront products are subjected to thorough testing by an independent laboratory, ensuring that you get the highest quality storefront framing products that the industry has to offer.



**Standard Medium
Stile Entrances**



**200 Series
Curtainwall**

**ALSO
USED
WITH**



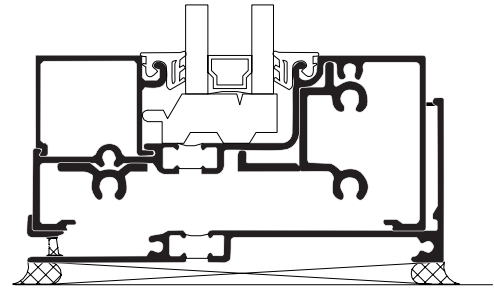
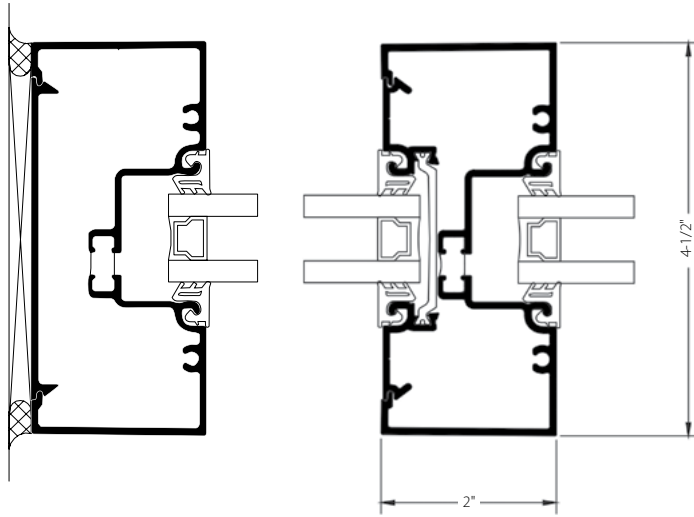
Wendy's, Cemetery Road, Hilliard, OH

TUBELITE®
DEPENDABLE

LEADERS IN ECO-EFFICIENT STOREFRONT
CURTAINWALL AND ENTRANCE SYSTEMS

T14000 Series Storefront

Single cavity pour and debridge thermal barrier

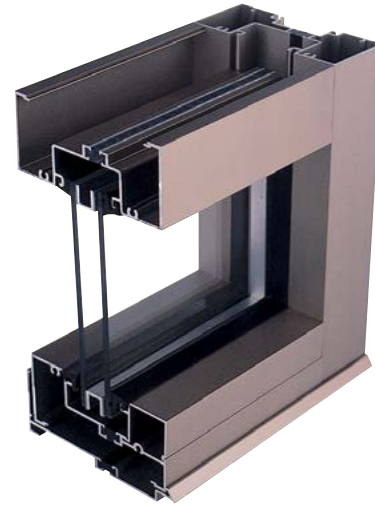


System Features:

- Standard 2" (50.8mm) sight-line on verticals and horizontals
- 4-1/2" (114.3mm) system depth
- Single cavity pour and debridge thermal barrier with Azon's Lancer® mechanical lock
- EPDM wedge type gaskets for 1" glass or panel thickness
- Glass centered in the system depth

Optional Features:

- Screw-spline or shear block connections
- Steel reinforcing if required
- Easily integrates with standard or thermal doors, operable vent windows & sun shades
- A wide variety of standard anodized and painted colors are available to complement any project with warranted protection, as well as street appeal.
- Curved Headers
- Non-thermal Framing



T14000 Series Product Specifications

Application: Low-rise commercial buildings: retail, office, healthcare, schools, etc.

Description: 2" x 4-1/2" center set, outside or inside flush glazed storefront

Face Width:	System Depth:	Glass:	Air Infiltration:	Water Infiltration:	Structural:	CRF:	U-Factor**:	Acoustic:
2"	4-1/2"	1" std (1/8" – 1-1/8")	0.06 CFM/Ft.2 @ 6.24 PSF	10 PSF – Static 10 PSF – Dynamic	30 PSF – Design 45 PSF – Overload	T (Thermal) 62 _f 68 _g	0.38 - Thermally Insulated 0.33 - Thermally Broken	STC 32 OITC 26

** U-Factor per NFRC 100: COG = 0.24 with warm edge spacer, 1-3/4" x 4-1/2" non-thermal frame.

Refer to the U-Value table at: www.tubeliteusa.com/products/storefront/t14000-series-storefront-framing/ for other glass makeups and configurations.

DISCLAIMER: Tubelite takes no responsibility for product selection or application, including, but not limited to, compliance with building codes, safety codes, laws, merchantability or fitness for a particular purpose; and further disclaims all liability for the use, in whole or in part, of this Technical Guide in preparation of project specifications and/or other documents. Technical Guides are subject to change at any time, without notice, and at Tubelite's sole discretion. ©2023 Tubelite

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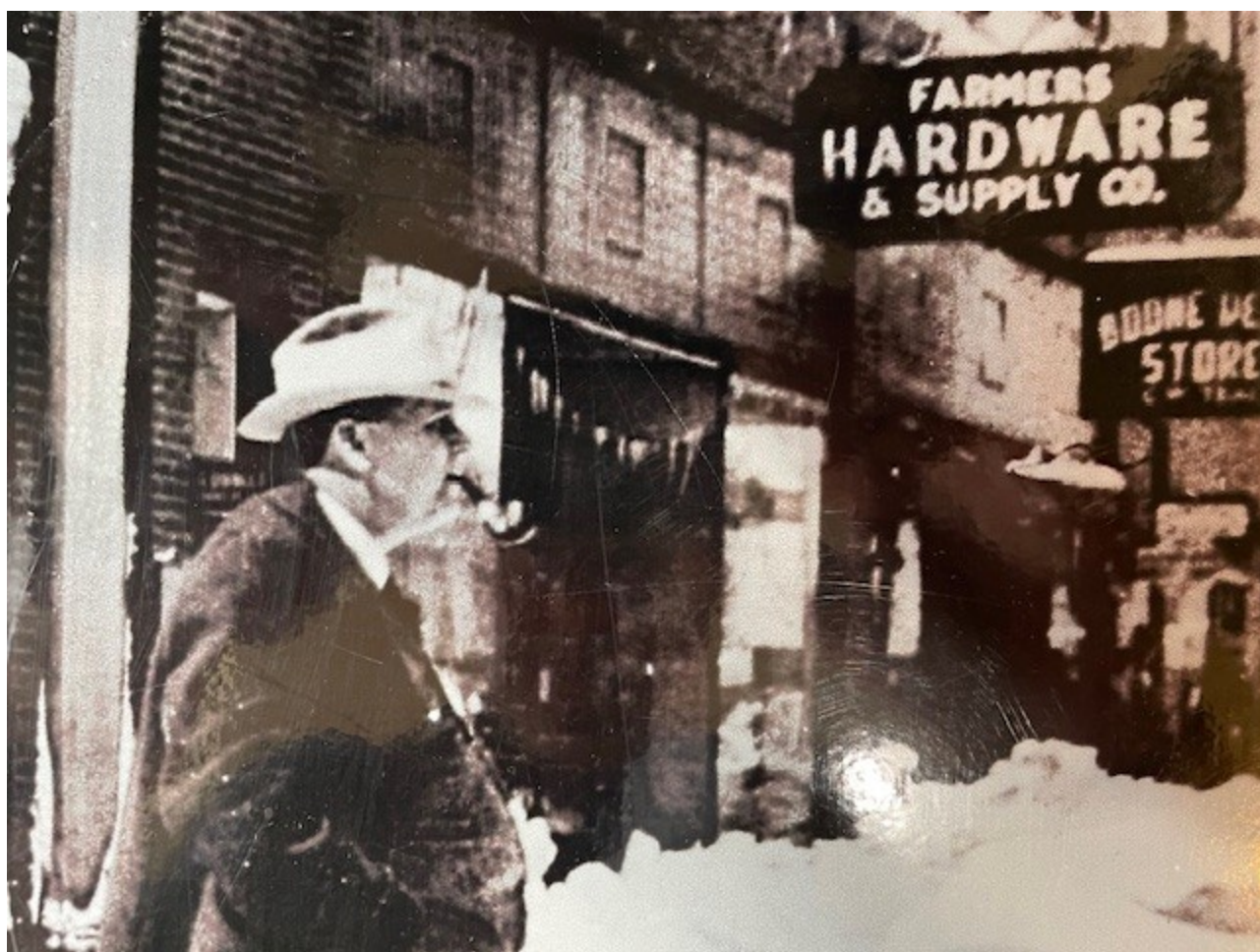














TOWN OF BOONE
HISTORIC PRESERVATION COMMISSION
ADVISORY MEETING MINUTES
April 8, 2025, 3:00 p.m.
Planning & Inspections Department & WebEx Video Conferencing

Historic Preservation Commission Members in Attendance: Vardell Smyth-Chair, Bettie Bond-Vice-Chair, and Ayden Basinger

Council Liaison: Virginia Roseman (via WebEx)

Town Staff in Attendance: Jessica Mitchell-Advanced Planning Specialist, Amy Snider-Commercial Zoning Administrator, Laney Wise-Grants Coordinator/Communications, and Alyson Wuagneux-Board Clerk

Other Town Staff/Representatives Present: Allison Meade-Town Attorney (via Webex)

Call to Order

Chair Smyth called the Boone Historic Preservation Commission meeting held in the Planning & Inspections Conference Room at 680 West King Street and via WebEx to order at 3:02 p.m.

Adoption of Agenda

Commission Member Basinger made a motion, seconded by Vice-Chair Bond, to adopt the agenda.

Vote: Aye – 3
Nay – 0

The motion passed.

Public Comment

There was no public comment.

150 Clay House Drive – R.L. Clay (Rivers) House – House Bathrooms - Pre-Application Workshop

Ms. Mitchell explained that the intention of the workshop is to provide guidance and is a voluntary and informal process where comments made by the Commission are non-binding. She explained that this workshop is separate from the quasi-judicial meeting. Ms. Mitchell went on to explain that the task for HPC members is to review what is suggested in the packet and provide feedback on preliminary project ideas.

Ms. Laney Wise, Grants Coordinator/Communications, introduced herself and stated that the project is funded through the Accessible Parks Grant Program to renovate the Rivers House detached garage into public restrooms, with the goal of making them as ADA accessible as possible. The program will grant \$250,000 with a \$50,000 match from the Town. Appalachian Architecture has been awarded the project via a master agreement circa 2019. Ms. Wise then directed the conversation to Mr. Bill Dixon of Appalachian Architecture for more details about the project.

Mr. Bill Dixon, architect for the project, explained that the renovation would involve replacing rotten wood on the existing garage doors while making minimal changes to the house. Interior modifications would focus on constructing two public restrooms. He has consulted with Public Utilities regarding installing and adding toilets, water lines, and electrical connections. Plans include running one underground water line and future electrical connections without mounting electrical panels on the building. The exterior rock work of the building remains intact; though adjacent trees will need removal. Excavation around the building is necessary for waterproofing. The upstairs space will be air conditioned, steps replaced, and railing added (not shown in packet material). General discussion between applicants and members on conservation efforts for the

materials on site. Efforts will be made to salvage the garage doors for historical significance after evaluating their condition. Ms. Wise then explained the Town Council process, noting that if the project receives a consensus, Town Council will be updated of the progress as it proceeds to a Quasi-Judicial meeting.

Approval of Meeting Minutes

Commission Member Basinger made a motion, seconded by Vice-Chair Bond, to approve the March 4, 2025, Advisory meeting minutes and the March 11, 2025, Quasi-Judicial meeting minutes as written.

Vote: Aye – 3

Nay – 0

The motion passed.

Approval of Written Decisions

Commission Member Basinger made a motion, seconded by Vice-Chair Bond, to approve the Written Decision for Case A25-0045 713 W King St – Certificate of Appropriateness and the Written Decision for Case A25-0061 Come Back Shack – Certificate of Appropriateness as written.

Vote: Aye – 3

Nay – 0

The motion passed.

Boone Cemetery Interpretive Panels – Unveiling Ceremony Date Selection

Ms. Mitchell reported that Town Council approved of holding an unveiling ceremony with considerations, including scheduling the ceremony for early May to accommodate student attendance, as well as reaching out to Appalachian State University history students and faculty. Commission members expressed interest in including and contacting the Junaluska Heritage Association.

She explained that Town Council also recommended a cemetery tour at the event. Council member Eric Plaag, in his role with the Watauga County Historical Society, volunteered to assist with the tour. The proposed event schedule would include speeches, an unveiling, and a tour.

Commission members discussed potential dates, selecting May 2nd (coinciding with Downtown Boone Development Association's First Friday) as the preferred option, with May 5th as a potential backup for Town Council Consideration. Suggested event timing was 4:00 or 5:00 p.m. to facilitate public attendance after work.

Commission members responded positively to including the tour and discussed possible tour structure and speech content. Chair Smyth offered to give opening remarks. Discussion included for brief remarks to include the Commission's purpose and a brief overview of the project. Vice-Chair Bond recommended inviting all previous HPC members involved in the project and reiterated the importance of having representation from the Junaluska community. Chair Smyth requested input on the speech content, suggesting it should reference the plaque details and acknowledge contributing individuals and groups. Members discussed possibilities of the tour and ensuring invitees are informed once the date and time are finalized after Town Council consideration.

Staff Updates

Statement of Conformity Report

Ms. Mitchell reported that one Statement of Conformity (SoC) application was submitted by Mellow Mushroom. Work to remove shutters has been completed, and the applicant will return for COA approval for additional work at that property. Ms. Mitchell reminded commission members of the upcoming Advisory meeting on May 6th and the Quasi-Judicial meeting on May 13th. She noted that three cases are scheduled

for the quasi-judicial meeting and advised members to plan for an extended meeting beyond 5:00 p.m. to allow for thorough review of those cases.

Other Staff Updates

Ms. Mitchell announced the receipt of an official review letter from the State Historic Preservation Office (SHPO), confirming that the Historic Preservation Commission (HPC) met Certified Local Governments (CLG) responsibilities for the reporting year. She stated that the letter mentioned how the commission demonstrated engagement in preservation projects with interpretive panels, collaboration with the Main Street Program, and completion of training requirements. The letter will be included in the May Advisory packet. She provided that Chair Smyth had received the letter per CLG procedures.

Ms. Mitchell provided training updates:

- **April 30th:** Quasi-Judicial training from 1:00 to 4:30 p.m.; Commission members will be registered by Planning Staff. Commission members are welcome to attend at the Planning and Inspections Conference Room, or make arrangement to attend virtually.
- **May 21st:** Webinar on historic buildings and building codes at 2:00 p.m. She introduced this webinar to Commission members, and if they are interested, they should inform her to arrange registration. She added that as this deals with building code she has shared the webinar information with Planning & Inspections Staff, specially the building inspectors if they have feasibility to attend. She concluded that she would email the webinar details to Commission members.

She reminded members that three webinars per year satisfy CLG training requirements and that a worksheet must be completed following each training for annual CLG reporting purposes.

HPC Member Updates

Vice-Chair Bond inquired about the status of the Dana Folk Way / Ice House Alley plaque. Ms. Mitchell reported that Staff is awaiting a response from the property owner/manager. She referenced the February meeting discussion on the work plan, noting that as the Stoneman's Raid project was under review by the Civil War Trails (CWT) marker program. The text for the Ice House Alley plaque can be a project that the HPC considers, while the Stoneman's Raid panel remains under review. Vice-Chair Bond connected this discussion to the Howard Street project, which will be unveiled this month.

Vice-Chair Bond provided details of an upcoming event at the Watauga County Library in association with the Watauga County Historical Society on April 10, 2025 at 5:30 p.m.

Chair Smyth inquired about the collaboration with Dr. Deathridge's history class. Ms. Mitchell stated that she had reached out but had not received any questions or documents to update the Commission with at this time.

Other Discussion

There was no other discussion.

Adjournment

Commission Member Basinger made a motion, seconded by Vice-Chair Bond, to adjourn the meeting at 3:37 p.m.

Vote: Aye – 3
Nay – 0

The motion passed.

DRAFT



**North Carolina Department of Natural and Cultural Resources
State Historic Preservation Office**

Ramona M. Bartos, Administrator

Governor Josh Stein
Secretary Pamela Brewington Cashwell

Office of Archives and History
Deputy Secretary Darin J. Waters, Ph.D.

April 3, 2025

Jessica Mitchell
Advanced Planning Specialist
Town of Boone
680 W. King St., Suite C
Boone, NC 28607

Email: jessica.mitchell@townofboone.net

Dear Ms. Mitchell:

Thank you for your report regarding the Boone Historic Preservation Commission's activities during FY 2023-2024 as a Certified Local Government (CLG) in North Carolina's preservation program. As a CLG, Boone continues to play an important role in a national initiative to preserve the unique and valuable historic character of over 2,100 communities across the country. The CLG program provides for increasing local involvement in preservation and offers technical assistance and grants to participating local governments.

The following are minimum responsibilities, per the National Park Service, for continued participation in the CLG program:

1. Maintain a qualified historic preservation commission.
2. Enforce state and local legislation for the designation and protection of historic resources.
3. Maintain a system for survey and inventory of historic properties.
4. Provide for adequate public participation in the historic preservation program.
5. Review National Register nominations through a qualified local historic preservation commission.

Based on the information contained in the report, we are pleased that Boone is meeting the responsibilities for continued participation in the CLG program.

Your report indicates commission members and its staff were actively engaged during FY2023-2024 in fulfilling duties outlined in NC GS §160D-942. In addition to staff researching and drafting resilience language for your Design Standards, the commission promoted community education by providing text for interpretive panels. We also commend you for working closely with your Town's Main Street program. We applaud you for your hard work and dedication to preservation.

In addition to the basic responsibilities noted above, CLGs must meet certain, more specific requirements set forth in the *Guidelines for North Carolina's Certified Local Government Program*. One of these requirements is to participate in annual training as the local community benefits from the commission's increased knowledge and expertise. We commend Boone's staff and commission members' commitment to meeting these training requirements this past year.

Please keep in mind that the North Carolina State Historic Preservation Office is here to support you in your preservation efforts. We love to hear from you and encourage you to continue to call upon us for:

- Technical assistance Restoration Specialist Meghan Sullivan at meghan.sullivan@dn-cr.nc.gov or 919-814-6574
- National Register information –Architectural Survey Coordinator Beth King at Elizabeth.King@dn-cr.nc.gov or 828-250-3108.
- Additional support or questions - CLG Coordinator Kristi Brantley at kristi.brantley@dn-cr.nc.gov or 919-814-6576 or 919-623-2412 (cell).

We congratulate you on the continued certification of Boone as an important local government partner in North Carolina's historic preservation program. We thank the town, the historic preservation commission, and the citizens for all they do to preserve Boone's unique and irreplaceable historic resources and for the contribution their efforts make to its overall quality of life.

We acknowledge that much of the past year has been an incredibly difficult period for Boone and western North Carolina. Please know our thoughts continue to be with you and we stand ready to offer our services and any needed support we are able to provide to aid you in continued recovery from Helene.

Best,

A handwritten signature in black ink that reads "Kristi Brantley". The signature is written in a cursive, flowing style.

Kristi Brantley
Preservation Commissions Coordinator

Cc: Ramona Bartos, Deputy State Historic Preservation Officer



ToB - Statement of Conformity (SoC) Monthly Reporting for HPC

File Date	Application Number	Project Name	Permit Type	Permit Use	Location	Status	Issuing User
April 11, 2025	25-0250	Town Hall - Roof Replacement	Zoning	Statement of Conformity	567 W KING ST	Approved	Amy Snider

1 Permits