



Historic Preservation Commission

Regular Meeting

<http://www.townofboone.net/>

~ Agenda ~

Jane Shook
828-268-6960

Tuesday, March 11, 2025

3:00 PM Planning and Inspections Conference Room

The public may attend the meeting in person at the Planning & Inspections Conference Room at 680 West King Street, Suite C, or online via WebEx (a video conferencing software).

Public Comment: To give public comment, you should appear in person at the physical location of this meeting. Persons who attend the meeting remotely via WebEx, a video conferencing software, may be permitted to speak during public comment but are not assured of the opportunity.

WebEx Participation: To join online or by phone, email Planning & Inspections at planning@townofboone.net or call 828-268-6960, and you will be provided with an email invitation. Requests must be submitted no later than one hour before the meeting begins.

I. Call to Order

II. Adoption of Agenda

III. Case A25-0045 713 W King St - Certificate of Appropriateness

Exhibit 1 - Application - 713 W King St

Exhibit 2 - Description of Work - 713 W King St

Exhibit 3 - Current Conditions - 713 W King St

Exhibit 4 - Staff Report - 713 W King St

IV. Case A25-0061 Come Back Shack - Certificate of Appropriateness

Exhibit 1 - Application - Come Back Shack

Exhibit 2 - Description of Work - Come Back Shack

Exhibit 3 - Existing and Proposed Photos - Come Back Shack

Exhibit 4 - Site Plan - Come Back Shack

Exhibit 5 - Staff Report - Come Back Shack

V. Other Discussion

VI. Adjournment

Period of Significance: _____

G. Project Details

Project Cost: \$ 5000. -

Project Type:

☐ New Construction

☒ Renovation

☐ Landscaping

☐ Moving Structure

☐ Demolition

H. Design Professional Information

Designer is an: ☐ Architect

☐ Engineer

☐ Owner

☐ Other: _____

Name: _____

Company: _____

Complete Mailing Address (Street, City, Zip): _____

Phone Number: _____

Email Address: _____

Additional Designer Information: If additional designers are involved beyond the one listed, please provide additional info on a separate sheet

I. Applicant Signature and Property Owner Authorization

I hereby certify that I am authorized to submit this application, that all information is correct and complete, and all work will comply with all applicable State and local laws, ordinances, and regulations.

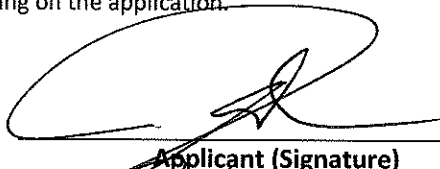
I acknowledge and agree that the Historic Preservation Commission members, Town employees, and Town agents may enter, solely in performance of their official duties and only at mutually agreeable times, upon the applicant's property for examination or survey thereof pursuant to North Carolina General Statute 160A-400.8.

I understand and agree that an approved Certificate of Appropriateness is valid only for the particular application, plans, specifications, and related project details presented to, and approved by, the Historic Preservation Commission. Any proposed modification or addition must be submitted to the Planning and Inspections Department for review.

By signing below, the applicant agrees to notify the Planning and Inspections Department of any changes or alterations in the data contained in this application, the approved plans, or the approved specifications related to the project that is the subject of this application.

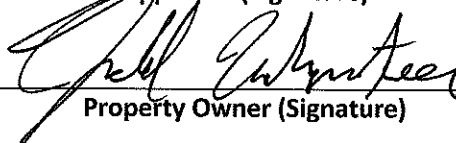
Hearings on Certificate of Appropriateness applications before the Commission are quasi-judicial proceedings. Therefore, Historic Preservation Commission members cannot discuss a pending application with the applicant or other party. By signing below, the applicant agrees to refrain from speaking with or contacting any member of the Historic Preservation Commission about an application outside of the formal evidentiary hearing on the application.

Josh Swartz
Applicant (Print)


Applicant (Signature)

01-17-25
Date

Jeff Wigington
Property Owner (Print)


Property Owner (Signature)

01-17-25
Date

Official Use Only

Amy Snider - Fwd: Permit

From: joshua swartz <jswartzconstructionllc@gmail.com>
To: <planning@townofboone.com>
Date: 1/16/2025 6:13 PM
Subject: Fwd: Permit

Joshua Swartz
J. Swartz Construction, LLC
[828-964-6469](tel:828-964-6469)
P.O. Box 2954 Boone, NC 28607

----- Forwarded message -----

From: **Jeff Wigington** <jwigington@wigrum.com>
Date: Thu, Dec 5, 2024 at 11:41 AM
Subject: Permit
To: planning@townofboone.net <planning@townofboone.net>
Cc: joshua swartz <jswartzconstructionllc@gmail.com>

My name is Jeff Wigington and I am the owner of 713 King Street. I authorize Josh Swartz to request and obtain my permit.

thanks

Permit Name:				
Permit Number:				
Date:	Fee:	Receipt Number:	Method of Payment: ☐ Cash ☐ Check Number: _____	Paid By:

Public Hearing Meeting Date: _____

Date of APO Mailed Notification: _____

Date of Posted Notification: _____

Request Approved: ☐ Yes ☐ No

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COA for Major Work Supplemental Checklist

Note: The following is a checklist for the presentation materials needed for your application. It is the applicant's responsibility to provide adequate photographs, architectural plans, and other material to enable the HPC to understand the proposal and its impact on the historic district/landmark. The consideration of the application may be delayed if preservation materials are not sufficient to evaluate the proposal.

- ☐ Written Description of the proposed work: Describe in detail the scope and nature of the proposed project, including exact material types, colors, and dimensions for materials to be used (e.g., width of siding, color of window trim, type of roofing materials, etc.).
- ☐ Design Standards References: Cite the applicable sections of the design standards related to and/or reflected in the proposed request.
- ☐ Photographs of Existing Conditions: Provide current photographs showing the present conditions of the area where the work will be completed and/or the portions of any existing building that will be affected by the proposed work. Photographs must be clearly labeled and keyed to a site plan.
- ☐ Site Plan: For development which includes modifications to the site in addition to the building, the applicant shall provide scaled drawings prepared in accordance with UDO Appendix A, which depict at least the relationship of all buildings, secondary structures, driveways, sidewalks, fences, drains, lighting, and trees to the property line. Clearly identify the location of any and all proposed changes. Caliper of trees should be indicated as measured from four and a half feet (4.5') above the earth's surface.
- ☐ Historical Documentation: If available, provide copies of historic photographs of the property in question, along with a list of any known previous alterations to the property (and the approximate date of those alterations). If the property is already listed on the National Register of Historic Places or is a designated Local Historic Landmark, include a copy of the nomination text for the property.



*Application Information for Filing for a Certificate of Appropriateness
for Local Historic Districts & Landmarks*

PLEASE READ THE ENTIRE APPLICATION PACKAGE

The Town of Boone strives to review applications as efficiently as possible. The policies outlined below enable Planning Staff and the Historic Preservation Commission to give each application the attention it deserves. Complete applications will be scheduled to appear before the Historic Preservation Commission; incomplete applications, however, will be returned to the applicant pursuant to Article 4 of the Town of Boone Unified Development Ordinance (UDO).

Approval of a Certificate of Appropriateness is required before any "major work" may be carried out with respect to improvement of a property located in Boone's local downtown historic district. Major work may include, but is not limited to, the following:

- A. New construction or additions to buildings
- B. Reconstruction of buildings once located on the site but demolished or moved at some previous time
- C. Restoration or rehabilitation of an historic property to its historic appearance
- D. Pointing of masonry as well as alteration, repair, or replacement of masonry, siding, roofing materials, architectural trim elements, foundations, windows, doors, and other significant architectural details
- E. Demolition of any part of a building or structure
- F. Work that is likely to disrupt or damage known or discovered archaeological resources on the site
- G. Moving of buildings
- H. Replacement of architectural details when there will be a change in design or materials from the original or existing details
- I. Changes to rooflines
- J. Establishment of exterior fire exits
- K. Exterior modification of existing buildings for ADA compliance
- L. Painting or stuccoing of buildings not previously painted or stuccoed
- M. Installation of mechanical systems, air conditioning units, vents, and related equipment in primary elevations that involves alteration to the building facade
- N. Location of satellite dishes, solar panels, and other roof attachments to the primary elevation roof and/or facade of a building if they are not effectively screened or are visible from a public street

Historic Preservation Commission Information

- Meetings: 2nd Tuesday of each month at 3 p.m.
- Meetings are currently being held virtually, through WebEx, a video-conferencing software. Please contact the Planning & Inspections Department by email (planning@townofboone.net) or by phone (828-268-6960) for more information on how to watch or participate in the HPC meetings.

See the published Town of Boone Planning & Inspections Meeting Schedule for more details.

Certificate of Appropriateness for Major Work - 713 W. King St.

Description

The scope of work only involves the small stucco portion of the front of the building. We are requesting to apply a fresh layer of stucco on top of the existing stucco to make the building more attractive. The new layer of stucco will be left the natural mortar color to match the existing conditions. The only change would be in the texture. The existing texture is very rough and deep. The new texture would be more of a smoother, knockdown finish.

Certificate of Appropriateness for Major Work - 713 W. King St.

Design Standards

<https://www.townofboone.net/DocumentCenter/View/3036/Appendix-D-Downtown-Boone-Local-Historic-District-Design-Standards-and-Handbook-PDF>

PG. 30 -

Exterior Surfaces Materials (Masonry, Siding, etc.) In-kind repairs/replacement, including repointing, to existing exterior surfaces when the material, color, composition of the new material matches the existing exterior surface (includes requirement that the composition of mortar match the original)

PG. 36 -

1.2. It is NOT appropriate to remove rather than repair or replace in kind such features when they are deteriorated. If replacement is necessary, the new materials should match the materials being replaced in composition, design, texture, color, and other visual qualities.





Staff Report

March 11, 2025

Case A25-0045 D.L. Wilcox Building - Certificate of Appropriateness for Major Work

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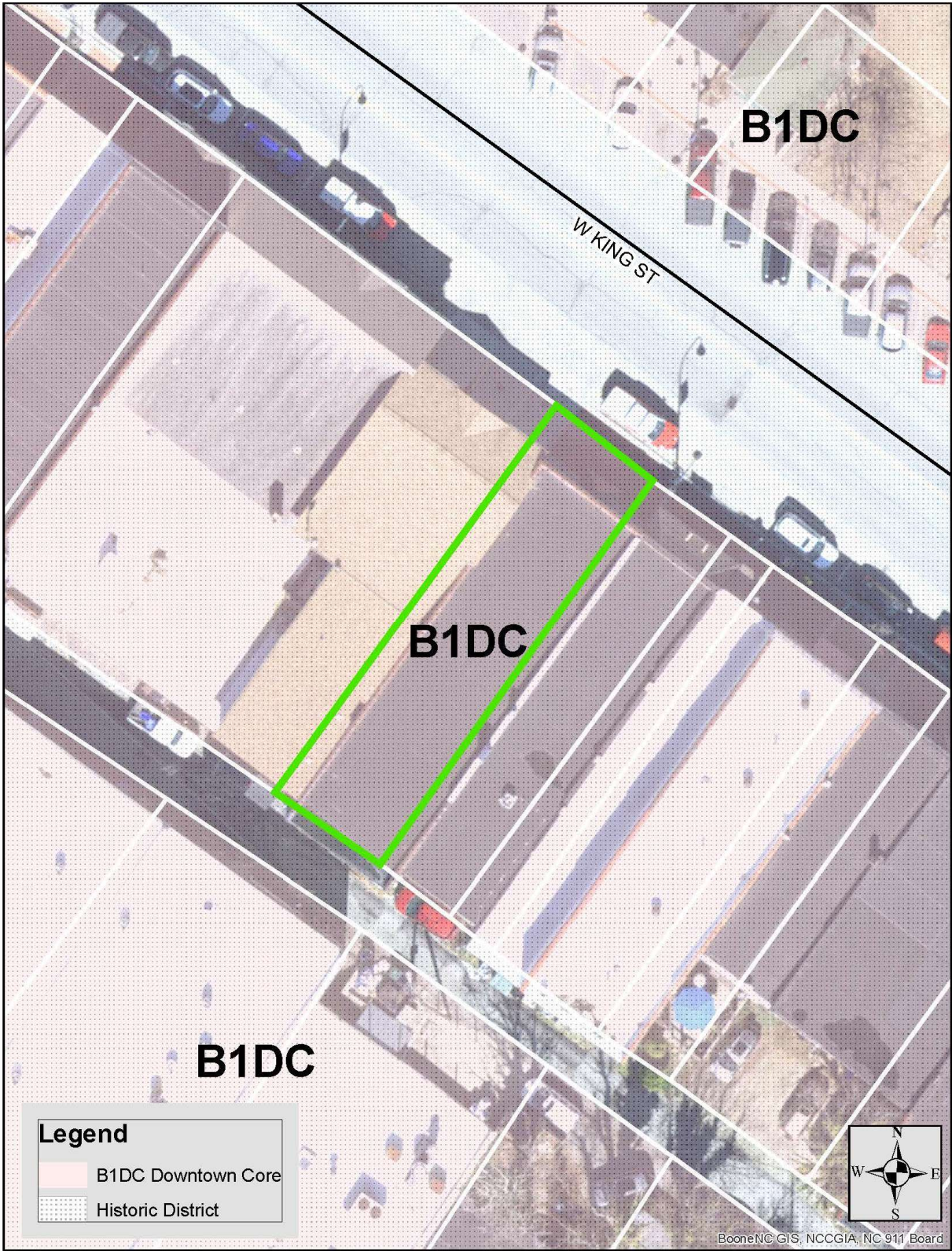
Request

J. Swartz Construction, LLC, on behalf of the property owner, has submitted an application for a Certificate of Appropriateness for Major Work for 713 West King St (WT0861 - D.L. Wilcox Building) located in the Downtown Boone Local Historic District. The request includes reapplying a new layer of stucco to the existing stucco at the bottom front of the building. The new layer of stucco will remain the natural mortar color and the texture will change to be a smoother stucco finish rather than a rough stucco finish. The subject property is outlined in green on the Zoning Map located on Page 2.

The Table of Minor Work and Major Work, located in both UDO Article 8, Subsection 8.05.03 and Appendix D, requires the applicant to obtain a (COA) for the alteration, outside of in-kind repairs, to the exterior surface material of the building.

Staff Notes can be found throughout the report marked in **bold green italicized text**.

Zoning Map



Communication: Exhibit 4 - Staff Report - 713 W King St (Case A25-0045 713 W King St - Certificate of Appropriateness)

Parcel Information

Address:	713 West King St
Property Owner:	Wigington GP, LLC
Watauga County Pin:	2900-79-9238-000
Lot Size (Total):	0.06 ac
Jurisdiction:	Town Of Boone
Access:	W King St, State maintained
SFHA:	No
Watershed District:	No
Corridor District:	No
NCD:	No
Viewshed:	No
Steep Slope:	No
Current Zoning:	B1 Downtown Core, Downtown Boone Local Historic District Overlay The B1 Downtown Core, together with the B1 Downtown Interface District encompass the Town of Boone’s downtown area and represent, in large measure, the remaining vestiges of the Town’s historic character. Regulations in these districts are intended to preserve and maintain a small town, high country atmosphere. Preservation and adaptive reuse of existing historic buildings are encouraged and new construction shall be appropriately scaled to be sympathetic to the existing built environment. Design and regulatory standards for these districts reinforce the character of the downtown as a pedestrian friendly area by encouraging architectural solutions that are visually interesting, and are compatible in scale and character to the surrounding area. To help accomplish this, the area is divided into two (2) districts, each with its own character and scale which contribute to the overall vitality of the downtown area. Identification of the districts is listed below: 1. B1 Downtown Core District: The Downtown Core District is the center of the downtown area and contains the greatest concentration of historic commercial buildings. This district establishes a continuous building facade at the street frontage to strengthen the identity of downtown as a pedestrian destination where pedestrians feel comfortable through the careful selection of building materials, human scale design, and ground floor fenestration. Standards in this district reinforce the historic nature of the existing built environment through regulation of appearance, height, scale and mass. 2. B1 Downtown Interface District: The Downtown Interface District serves as a gateway into the downtown area and as the transition between the B1 Downtown Core District and adjacent zoning districts. Development in this district must be sensitive to issues of compatibility with the Downtown Core District as well as surrounding zoning districts, many which are low-density residential.

Staff Note: The Downtown Boone Local Historic District is an overlay district, which is a district that overlaps, in this case, the general use B1 zoning districts and contains standards in addition to the underlying general use district zoning standards. Where requirements conflict, overlay district standards supersede.

Zoning & Use of Adjacent Properties		
	Adjacent Zoning	Adjacent Land Use
North	B1 Downtown Core, Downtown Boone Local Historic District Overlay	Retail
East	B1 Downtown Core, Downtown Boone Local Historic District Overlay	Retail
South	B1 Downtown Core, Downtown Boone Local Historic District Overlay	Restaurant
West	B1 Downtown Core, Downtown Boone Local Historic District Overlay	Fire Station

Recent Zoning History

12-11-2024 A zoning permit for a Statement of Conformity was issued for exterior painting of the building. The project painted the previously painted exterior with the same matching color, Benjamin Moore Mineral Alloy 1622 – Flat Sheen. project was completed on February 5, 2025.

Zoning Analysis (B1 Downtown Core)

The following UDO requirements are required to be met for the proposed facade renovation, unless superseded by any requirements of the Downtown Boone Local Historic District overlay.

The former occupant, M-Prints, a Retail Store, ceased operation and the vacant space underwent interior renovations that were completed in November 2024. The only exterior changes requested have been the painting, permitted and completed under a Statement of Conformity, and the retexturing of the stucco submitted here as a COA.

Appearance Standards: Within UDO Article 14 for the B1 Downtown Districts, Design Standards for New Construction and Additions in UDO Subsection 14.19.06(H)(4)(a)(i)(B) states acceptable field materials for stucco are: Stucco finishes, but only (1) on non-primary or non-secondary facades; (2) the stucco finish must be similar or compatible to historic examples found in the B1 Downtown Core District, and (3) the stucco finish is not the primary building material.

Architectural Survey/Designation Report Information

The following three documents are central to the Downtown Boone Local Historic District:

1. [Comprehensive Architectural Survey of Downtown Boone, NC – Final Report](#)
2. [Report and Recommendation for the Designation of the Downtown Boone Local Historic District, Boone, NC](#)

3. [Downtown Boone Local Historic District Standards](#)

The designation report (#2 above), was created using the architectural survey of the downtown area (#1 above) and recommended the Downtown Boone Local Historic District area be designated as a historic overlay district; and the Downtown Boone Local Historic District Design Standards, which are outlined in a separate document (#3 above), are to be applied by the HPC when it considers applications for Certificates of Appropriateness for proposed development within the historic district.

Inventory Classification

The following information has been taken from the designation report starting on page 69. The property inventory found within the report was specifically written to assess the contributing significance and integrity of the district's resources. Integrity, as determined was based upon the following:

1. design integrity, meaning the building's relationship to its original appearance or altered appearance during the period of significance;
2. material integrity, meaning the building's relationship to original materials during the period of significance or replacement materials that mimic the appearance of original materials during the period of significance;
3. locational integrity, meaning the building's relationship to its original location during the period of significance;
4. integrity of association, meaning the building's relationship to its original or adapted use, function, and purpose during the period of significance; and
5. integrity of relationship to the district as a whole, meaning the building's historical importance to the development of downtown Boone's commercial district during the district's four periods of growth within the period of significance (1918-1964).

Inventory Classifications:

- CA:** Contributes to the character of the district based on architectural significance
- CH:** Contributes to the character of the district based on historical significance related to events or individuals associated with the property
- NC:** Non-contributing property
- VL:** Vacant lot

Designation Report

The Designation Report summary is included on the right (in blue), and the full Architectural Survey summary is included below.

Staff Note: The subject property is classified as CH. CH means the property contributes to the district based on historical significance related to events or individuals associated with the property.

Architectural Survey

WT0861 D. L. Wilcox Building (1939)

713 West King Street

This one-story, flat-roofed, commercial block building fronting on West King Street from the south is somewhat unusual among Downtown Boone commercial properties, in that its ownership has remained in the same family since D. L. Wilcox built the building on land purchased from W. L. Bryan in 1939. Work on the building commenced in early October 1939, when Walter C. Greene was listed as the contractor of a brick building intended to be 28' X 75', one story in height, with a basement (Watauga Democrat, October 5, 1939). A month and a half later, the Democrat carried an article about the opening of the Boone Tire and Bargain Store, run by Wilcox and Cecil Miller. This article (November 23, 1939) included a photograph of the building and was accompanied elsewhere in the issue by a large advertisement regarding the opening.

When the building opened in 1939, its north elevation was brick with sturdy pilasters at the east and west corners, each capped with a triple-tier corbel collar and the low, parapet roofline coped in terracotta tiles. The upper part of the façade featured a large, recessed, frieze band, over which a Firestone sign had been erected. The storefront, meanwhile, offered a slightly recessed, double-door entrance with a wide transom, flanked on each side by huge, plate glass, shop windows with brick bulkheads with vents. A five-light, clerestory window band surmounted the entire storefront. A 1940 image of the Boone Flood (Dav Wyk-01-004) showed the west elevation as entirely brick with a terracotta-coped, stepped parapet; an enormous mural advertising the

WT0861 D. L. Wilcox Building (1939)—CH
713 West King Street (2900-79-9238-000)
 Walter C. Greene constructed this one-story, brick commercial block building with basement for D. L. Wilcox in 1939, shortly after which the Boone Tire and Bargain Store, run by Wilcox and Cecil Miller, open in the building. The original north elevation featured sturdy pilasters at the east and west corners, each capped with triple-tier corbel collars, between which was a large, recessed frieze band. The storefront featured a recessed double entrance with flanking shop windows. A five light, clerestory window band surmounted the entire storefront. For a time during beginning in the early 1950s, the brick elements were covered with structural glass and the frieze panel filled with a marble slab. This configuration appears to have survived for decades, at least into the early 1970s. At some point thereafter, the storefront bulkheads were parged with textured concrete and the rest of the north elevation was clad in a wooden, board and batten treatment, while a hipped roof, wooden-shingled awning was placed directly above the double door entry. Curiously the window and door opening proportions appear to be as they were originally. Indeed, the original brick elements, including possibly the spanning clerestory window, are believed to survive beneath the current treatment, making this property an outstanding candidate for façade rehabilitation and restoration.

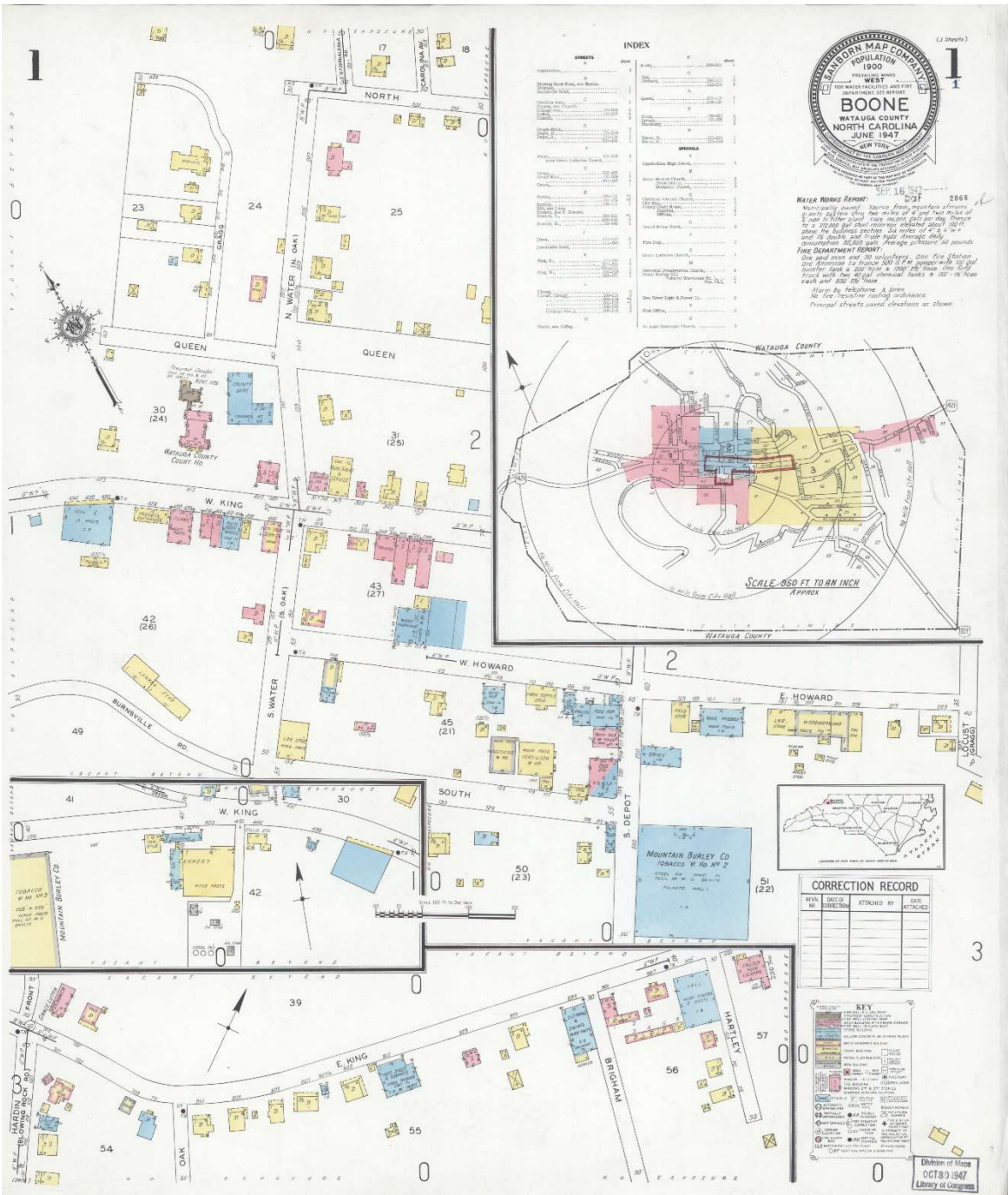
Boone Tire and Bargain Store was painted on this west elevation. By 1952 (Pal-Bla-04-103), the Boone Tire and Bargain Store storefront configuration remained about the same, but the entire brick façade had been covered with structural glass and the frieze panel filled with a marble slab with signage painted on it. This same configuration was still in place in 1960 (Gle-Tho-01-006).

It's not clear when the north elevation was changed, but today, it appears quite different. Curiously, the shop windows and bulkheads are perhaps the most consistent elements; other than being changed to aluminum frames, the windows retain their original proportions, and the double-door entry remains, although one aluminum frame door is larger than the other. Bulkheads have been sloppily parged with textured concrete, but the vents are still visible. The remainder of the elevation has been clad in a wooden, board and batten treatment, and a hipped roof, wooden-shingled awning has been placed directly over the double door entry. It is highly likely that the clerestory windows and original brick elements survive underneath the present treatment, and that the building could be restored easily to something resembling its original appearance. The east and west elevations are mostly obscured by WT0860 to the east and WT0862 to the west, although the building does extend to the south slightly farther than its neighbors. At the front of the building, it's clear that the west wall was extended in height in response to the construction of WT0862, perhaps to create a firebreak. At the rear of the building, the original brick of the west wall is also visible, but the south and east elevations reveal the concrete foundation and the concrete block walls of the main elevation—probably an attempt at cost savings for elevations that would not have been easily visible to the public. It appears that roofing material has been extended up the east wall to the terracotta coping from the roof of WT0860 to the east. The south elevation reveals two large window piercings symmetrically positioned on the second floor, each with a double bay of one over-one, double-hung sash, wooden windows with roughly placed, rowlock lintels and sills. Between the two window bays is a large piercing with a rowlock lintel that has been sloppily blocked in with concrete block. This opening, as suggested by the 1947 Sanborn Map, appears to have been a passageway to a wooden frame, second-floor bridge that connected to a furniture warehouse on Howard Street (WT0892). Reading from west to east, the basement level of the building offers a steel door at the center of the elevation, with 24-lite, metal-frame windows flanking the doorway. Both windows have glass missing in places and appear to have been backfilled on the interior with another material. Roughly assembled, low, wooden planters flank the three concrete steps leading to the central doorway.

During the early 1990s, the building was home to the Boone Sports Center (Watauga Democrat, July 1, 1992). It currently houses MPrints.

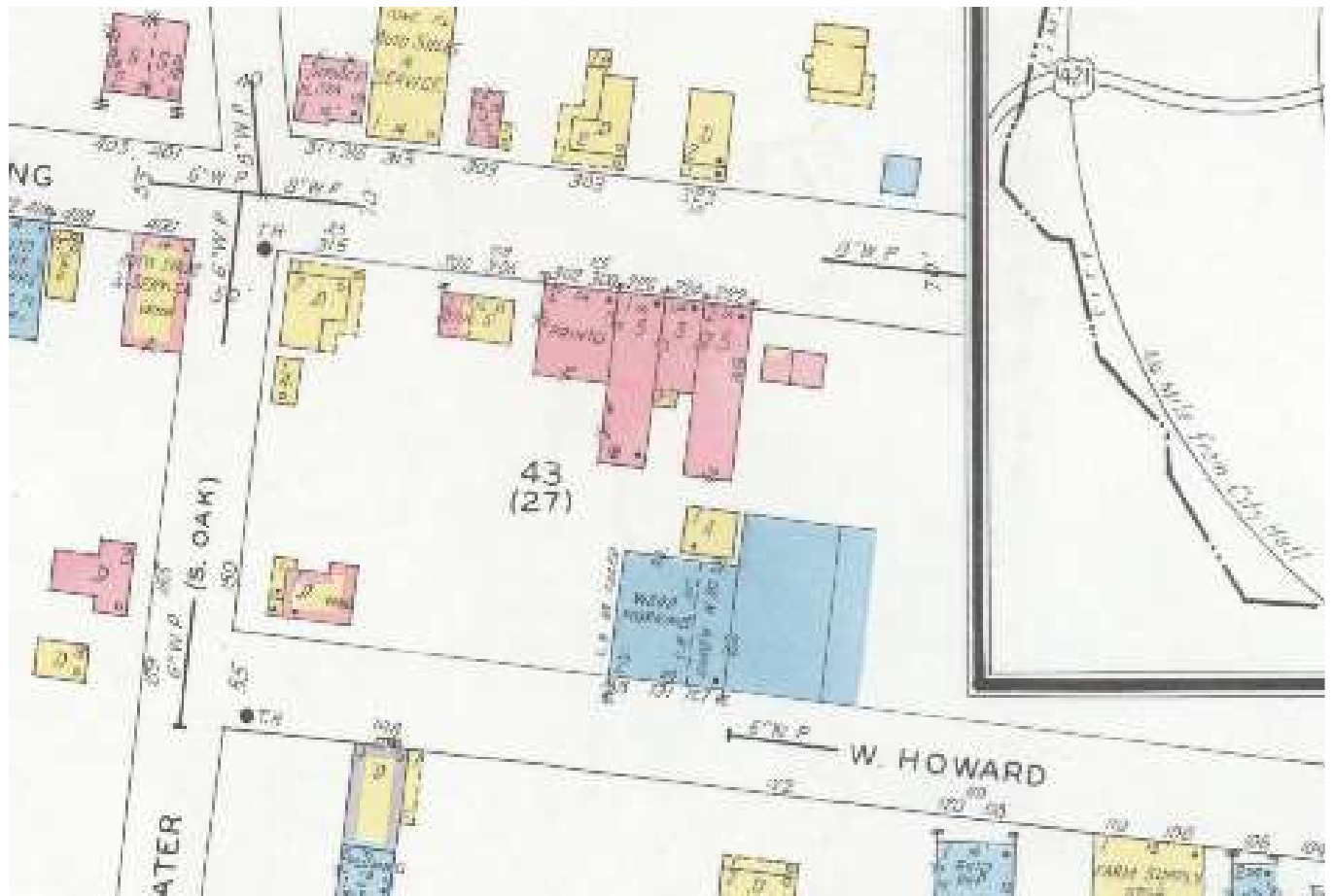
Library of Congress - Sanborn Fire Insurance Maps

The Library of Congress has made Sanborn Fire Insurance Maps from 1928 and 1947 accessible. As these years fall within the historic district’s period of significance (1918-1964), these maps will be used when the property in question, or area of the property in question, can be viewed within these maps. The content of the Library of Congress online Sanborn Maps Collection is in the public domain and is free to use and reuse.

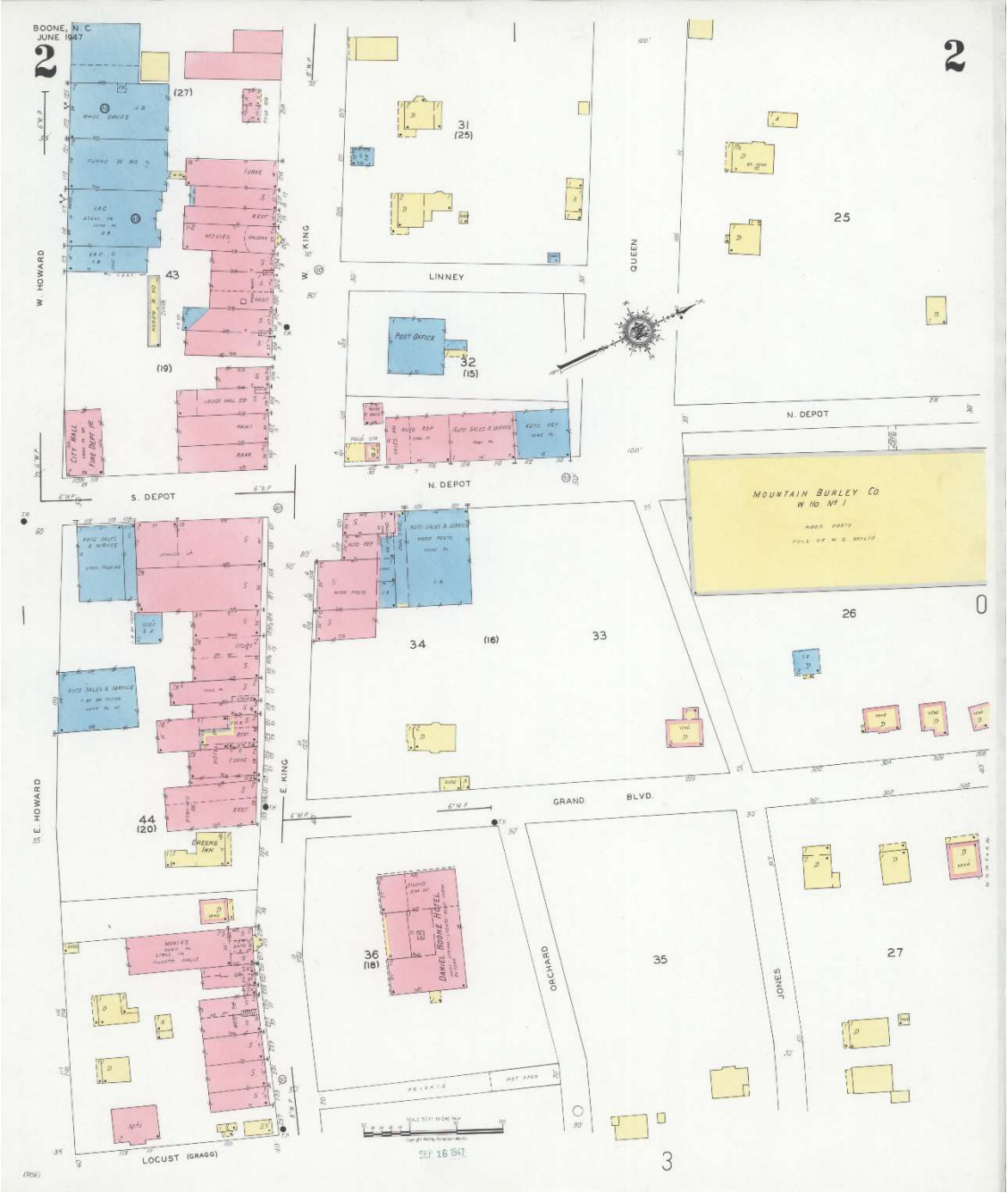


Sanborn Fire Insurance Map from Boone, Watauga County, North Carolina. Sanborn Map Company, Jun, 1947. Map. https://www.loc.gov/item/sanborn06383_002/.

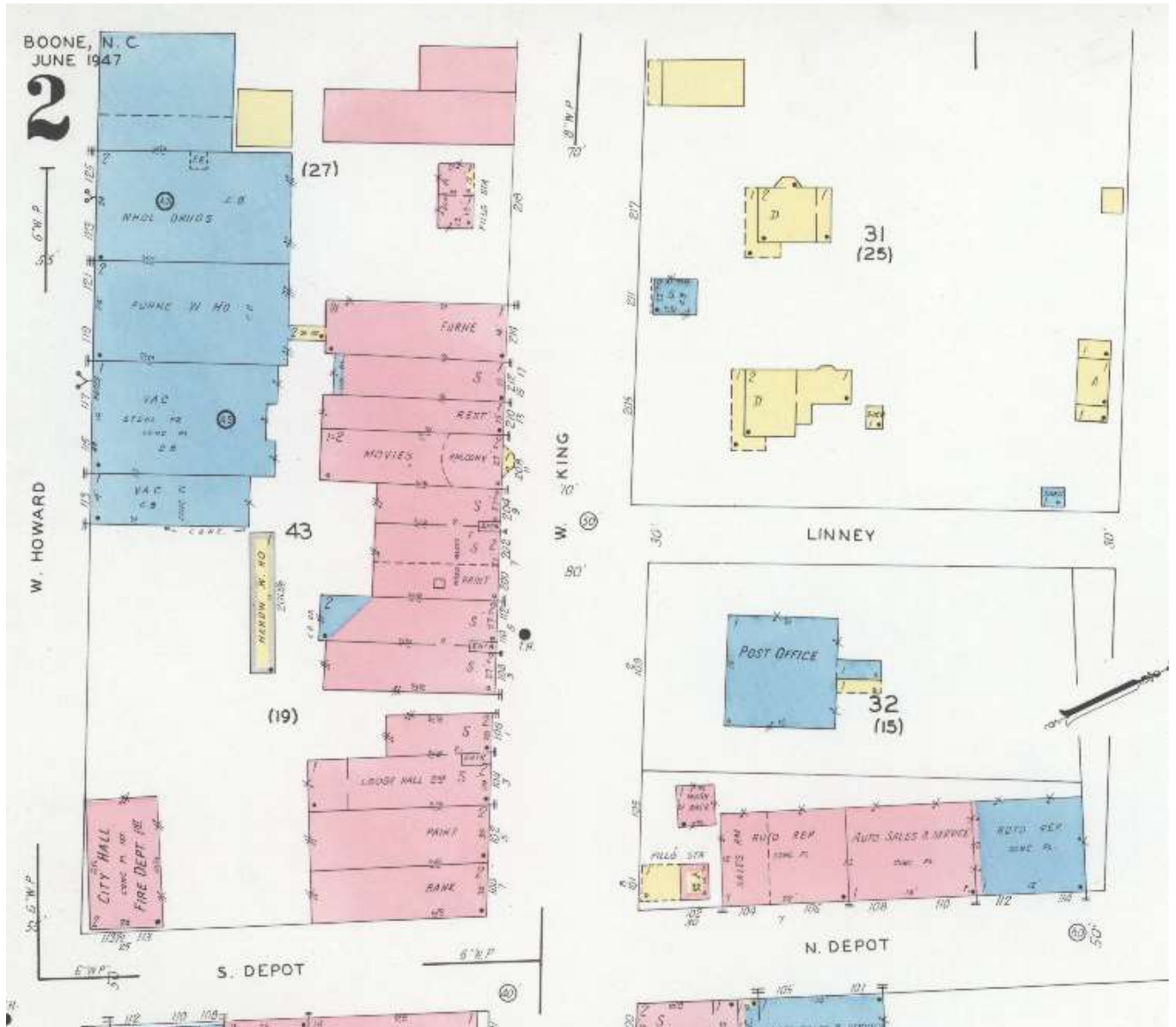
Communication: Exhibit 4 - Staff Report - 713 W King St (Case A25-0045 713 W King St - Certificate of Appropriateness)



Sanborn Fire Insurance Map from Boone, Watauga County, North Carolina. Sanborn Map Company, Jun, 1947. Map. https://www.loc.gov/item/sanborn06383_002/.



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Downtown Boone Local Historic District Design Standards and Handbook Analysis

Narrative

Relevant design standards from UDO Appendix D, Downtown Boone Local Historic District Design Standards and Handbook, Design Standards for Commercial Properties within the District, are outlined below. These Standards for Commercial properties are intended to address many of the most common issues to arise during renovations, additions, and new construction in the District. Where the Standards are silent on a particular issue or concern, the HPC will rely upon the Secretary of the Interior's Standards for Rehabilitation to guide their review of the proposed work under the COA process and any subsequent recommendations.

Design Standards for Commercial Properties

“Commercial Property” Defined

A **commercial property** within the District is any property whose purpose-built function at the time of construction was primarily to serve a commercial, institutional, or governmental purpose or use. More specifically, commercial properties include 1) any building whose original configuration included commercial, institutional, or governmental uses on the ground floor accessed via the entrance(s) located on the primary elevation, even if residential spaces were available elsewhere in the building (such as a commercial block building with stores on the first floor and apartments on the second floor), or 2) any building with a garage bay or bays on the ground floor accessed via the entrance(s) located on the primary elevation and commercial, institutional, or governmental spaces located elsewhere in the building (such as a garage building with an office or store located on an upper floor or in the basement).

Any property within the District whose purpose-built function at the time of construction was to serve solely as a residence for long-term (greater than 30 days) occupants, even if the property currently serves a commercial use, is still considered a residential property. For standards for residential properties, please see the “Standards for Residential Properties within the District” section elsewhere in this publication.

1. Storefronts, Upper Facades, Side Elevations, and Rear Elevations

Downtown Boone is dominated by historic properties that reflect the commercial block architecture that was so common and influential during the period from 1910 to 1960 in many American towns and cities. In the case of the District, commercial block development began around 1919 and continued to the early 1960s. Central to this architecture is the importance of the storefront itself, whose familiar architectural details—large display windows, transom bars and windows, clerestory recessed entries, and prominent cornice and corbelling work—frequently signaled to customers not only the function of a business but also the quality of its wares. Many other elements—including projecting, flat awnings anchored to the façade with cables or steel rods, or fabric awnings amounted on metal frames, hinged or unhinged—provided customers with shelter from the elements while window shopping or otherwise enhanced the shopping experience. After 1950, many of these architectural details were removed, either in response to decay of these features or in an effort to “update” a building to the stylistic preferences of a later time. One such example is the Appalachian Theatre on West King Street, whose original Art Deco marquee and structural glass were removed during the late 1970s in response to safety concerns. Other elements—most notably transoms and clerestory windows, as well as the details of upper facades—were simply covered over and may still survive today underneath modern additions to the facades of many of Boone’s historic downtown properties in the District.

Similarly, secondary and tertiary elevations of many of Boone’s historic commercial properties are vital to the character and integrity of its downtown commercial district. Often, significant side (secondary) elevations are located on corner buildings adjacent to two or even three streets, but sometimes such details are visible on mid-block buildings separated from nearby buildings by an alleyway or a vacant lot. Many of these buildings retain original fenestration, entrances, brickwork, and/or advertisements (some of the “ghost ad” variety) that contribute in their own significant way to the architectural character of the downtown historic district. Similarly, rear (tertiary) elevations can possess many of these same characteristics and also reveal much about the history of a property because of their frequently utilitarian design intended for the workers, owners, and residents who most often saw these rear elevations.

In an effort to preserve what remains of the District’s historic commercial architecture and encourage the reconstruction or rehabilitation of elements that have been removed or covered over, the standards for storefronts, upper facades, and other elevations are intended to facilitate preservation and

reconstruction wherever possible while also addressing new construction and its compatibility with the rest of the District.

- 1.1 Whenever possible, historic storefronts and storefront features such as entrance configurations, display windows, doors, clerestory windows, transom bars and windows, bulkheads, corbelling, cornice work, windows, stonework, stringcourses, structural glass, and other architectural flourishes should be retained and preserved. When repairing these features, retain and preserve in place original elements as much as possible. If repair is not possible, replace damaged elements with materials that match the originals in composition, design, texture, color, and other visual qualities.
- 1.2 When reconstructing an historic storefront, upper façade, or other elevation, use historical research and evidence as the basis for the design. Reconstructed storefronts should incorporate original dimensions, proportions, and architectural elements.
- 1.3 In making changes to storefronts or other elevations to comply with code or accessibility requirements, avoid destroying historic materials and features and select configurations that have minimal intrusion or impact on the character-defining aspects of the property in question.
- 1.4 When original or early storefronts or upper facades no longer exist, are too deteriorated to save, or cannot be reconstructed based on the available documentary evidence, retain the commercial character and any salvageable architectural details through a contemporary design that is compatible with the scale, materials, color, style, design, and texture of the surviving and surrounding historic buildings.
- ...1.6 It is never appropriate to cover an historic upper facade. Whenever possible, non-historic coverings of upper facades, including metal, stucco, or faux mountain village fronts and porches, should be removed and underlying original architectural elements repaired and restored.

...

2. Architectural Components and Details

Exterior architectural components, including door and window casings, storefront configurations, cast iron ornamentation, stone relief, cornices, columns, brackets, porch railings, soffits, fascias, roof configurations, trim details, architectural flourishes, and various joinery and surface patterns all contribute significantly to the character and historical integrity of properties located within the District.

Because many of these components are either irreplaceable or very expensive to reproduce, they should be maintained and valued in the same way that one might consider an important family heirloom or expensive antique furniture. In many cases, missing or damaged architectural details can be replaced with like items from salvage yards, antique shops, or mail order companies that specialize in replacement of historic architectural components. If such items cannot be replaced, many construction supply companies stock simulations of period architectural components that are approved by the Secretary of the Interior and the National Park Service as suitable historic replacements. In any event, before replacing any exterior architectural component, property owners should familiarize themselves with the architectural style and historic characteristics of their building to avoid introduction of inappropriate elements.

- 2.1 It is important to preserve character-defining, historical, architectural features of exterior walls, such as cornices, friezes, medallions, sunbursts, brackets, bays, turrets, fascias, quoins,

- columns, brickwork, string courses, and decorative moldings. Original architectural details should always be retained if structurally feasible, even if portions of the original material are damaged or deteriorated to a point requiring replacement. If original details are missing, design replacement features based on historic photos and other documentation.
- 2.2 It is NOT appropriate to cover or remove rather than repair or replace in kind such features when they are deteriorated. If replacement is necessary, the new materials should match the materials being replaced in composition, design, texture, color, and other visual qualities. Original architectural features that are covered should be uncovered, exposed, repaired and/or restored, and maintained.
- 2.3 It is NOT appropriate to cover or replace historic materials with substitute materials, such as aluminum, vinyl, fiber cement board siding (or similar materials simulating the appearance of wood), or plywood panels. Architectural details that are not appropriate to the historic context and character of a building should never be added. At the same time, property owners should never use details from an earlier period to try to make a building look older than it is.
- 2.4 Historic architectural metals, such as pressed tin, aluminum, and cast or wrought iron, should always be retained. If these items are not repairable due to rust or other deterioration, replacement materials should duplicate the form, details, texture, material, size, shape, color, pattern, and composition of the original. When cleaning of architectural metals is necessary, use the gentlest methods possible, such as water, a gentle, non-caustic soap, and soft bristle brushes.

4. Masonry

Many commercial properties in the District are composed of brick or stone masonry, and it is imperative that original masonry materials—many of which have a weathered appearance reflecting the history of the building—remain preserved whenever possible. For this reason, masonry should never be cleaned unless it is determined that perceived “dirt” is actually accumulated deposits and not the effects of weathering. If cleaning is pursued, always use the gentlest method available, preferably with low-pressure water, a mild, non-caustic detergent, and a natural bristle brush where needed. In addition, while re-pointing is sometimes necessary when mortar is missing or moisture problems have developed, it should only be completed in a manner that avoids smearing the mortar onto the surface of the masonry.

Terracotta, stucco, and concrete are other masonry elements that are occasionally found on historic commercial properties in Boone. In addition, many historic commercial properties feature chimneys, arches, quoins, lintels, sills, cornices, corbelling, and pediments that are all essential to the historic character of the building in question.

- 4.1 It is NEVER appropriate to paint masonry materials, such as brick, concrete block, cast concrete, or stone, that were historically unpainted, including masonry associated with foundations. If there is historic precedent for painting of masonry in the building’s original historic context, it should be completed using colors that can be documented with original historic photographic evidence or analysis of original paint samples.
- Removal of non-historic paint from masonry can be challenging and problematic, and doing so requires strict adherence to preservation guidance published by the National Park Service. Generally speaking, such work should be completed by a professional trained in historic

preservation methods and using a chemical paint remover specifically intended for masonry and the gentlest application means possible. In some instances, inappropriately applied paints may not be removable without damaging the underlying masonry, so it is always advisable to test removal techniques in an area that is not easily visible to the public. The HPC will provide guidance in such instances on the best approach to addressing unusual paint removal challenges.

- 4.2 Whenever feasible, historic masonry, including decorative masonry features, should be repaired rather than replaced or covered. When replacement is necessary, it should always be completed using traditional materials of like composition, size, color, shape, pattern, texture, and quality to the originals that are being replaced.
- 4.3 Re-pointing of masonry should also be completed using materials that duplicate the existing mortar in appearance, texture, and color. Colored sands or mineral-pigmented mortar can be used to achieve a match with the existing mortar. Portland cement should be avoided in mortar, as it may produce a mortar that is stronger than the surrounding masonry, potentially causing the masonry to crumble.
- ...4.5 When repairing or replacing masonry or mortar, take care to maintain the alignment, bond pattern, joint spacing, color, texture, and size of the original masonry.
- 4.6 Unless there is historic precedent for its use on the building in question, stucco should never be applied to existing masonry walls, as it can trap moisture that accelerates the deterioration of the masonry. If historic stucco is being repaired, the stucco mixture should duplicate the original appearance, color, and texture as closely as possible.
- 4.7 Masonry should never be treated with abrasive stripping methods, sandblasting, or high-pressure water cleaning, as these methods almost always immediately damage the “skin” of the brick and the mortar joints, and they can make the masonry more susceptible to spalling, or flaking of the masonry surface as a result of the introduction of moisture. Masonry should only be cleaned using the gentlest method available, including low-pressure water, soft natural brushes, and, if necessary, non-abrasive, non-toxic chemicals that will not damage the masonry being treated.

...12. Additional Standards on Artificial Materials

While most of the historic properties in the District were built using traditional materials (such as kilned brick, wood trim, structural glass, and native stone), over the years, some properties have been covered with aluminum, vinyl, asbestos, plywood, parging, modern brick veneers, simulated stone, pre-formed concrete panels, cast concrete patterned to look like stone or brick, or other non-traditional materials. Due to the loss of both historic character and original materials inherent in the application of such substitute materials, the damage caused during installation, and the potential for undetected insect infestation and moisture damage, the practice is not acceptable for a historic property in the District.

- 12.1 The removal of previously installed substitute materials of all types is strongly encouraged.
- 12.2 Previously installed vinyl windows and snap-in muntins are examples of inappropriate replacements for wood windows and should also be removed and replaced with more historically appropriate materials whenever possible.

- 12.3 Simulated stone in all of its forms is inappropriate, as are “contemporary” bonding techniques, including the “stacked stone” design. Faux brick and roughcasting are also inappropriate.

Design Standards for Historic Streetscapes, Landscapes, Monuments, and Other Resources in the District

1. Streetscapes

In contrast to the natural elements around which communities are often organized, historic streetscapes instead represent the built environment that defines the character, context, and components around which a community grows and evolves. Typically, buildings are the most obvious and dominant streetscape features, but this type of landscape includes other elements, including the spaces between buildings, private yards, alleyways and streets, sidewalks and other pedestrian elements, lighting, fences, public benches, retaining walls, monuments, public art, and street signage.

With regard to all streetscapes in the District, the following standards should be observed:

- 1.1 The form, scale, and massing of building facades located along public ways should be preserved.
- 1.15 Materials, architectural features, and entrance orientations of all historic buildings associated with historic streetscapes should be preserved and maintained. Non-historic architectural features, including promenades, porches, and other additions to buildings intended to create an imagined “mountain village” appearance that is not an accurate reflection of the District’s historic buildings and streetscapes, should be removed and/or altered to more accurately reflect the context and history of Boone’s streetscapes. When possible, public-private partnerships, including programs like the Main Street Façade Grant program, should be utilized to restore historic streetscape features.

Automatic Conditions of Approval

The following conditions are automatically included and a part of any approval.

- Where there is a conflict between the application information and the plans (January 21, 2025), the plans control. Insignificant deviations may be permitted to comply with the requirements of the UDO.
- Any commitments and representations concerning the proposed exterior modification made by the applicant or its representatives at the public hearing shall also become a condition of the permit, and a basis for a stop work order and/or permit revocation if violated.
- The applicant shall submit the necessary applications, plans, details and specifications which meet the requirements of the Town Code, UDO, Building Code and any other applicable codes for review and approval necessary to issue Zoning and Building Permits.

Historic Preservation Commission Procedure

In considering this application for a COA the HPC shall base their decisions solely on the basis of competent, material and substantial evidence entered into the record via the application packet and sworn testimony at the public hearing.

When making the motion for approval, the Commission should consider that unless the Commission explicitly orders otherwise, every approval is conditioned upon the development being completed in accordance with the plans submitted by the applicant, the commitments and representations concerning the proposed development made by the applicant and representatives at the public hearing, and final conformity with all requirements of the UDO.

The question before the Historic Preservation Commission is whether or not the proposed development is congruous (i.e., in agreement, in harmony) with the special character of the historic district. If the proposed exterior modification is congruous, the Commission shall issue the requested COA. If the proposed exterior modification is incongruous (not in agreement, not in harmony) with the special character of the historic district, the Commission shall deny the requested COA. The Commission shall approve, approve with conditions, or the deny the COA by majority vote.

Vote: The proposed development ☐ is congruous OR ☐ is incongruous with the special character of the Downtown Boone Local Historic District and is approved subject to the following conditions (as warranted):

1. Conditions:

Criteria for Conditions: The Commission may issue approval subject to reasonable conditions necessary to carry out the purposes served by the historic district (see G.S. 160D-940, 160D-947(a)). The purposes of the historic district are to (i) safeguard the heritage of the town insofar as the Historic District embodies important elements of the town's culture, history, architectural history, and/or prehistory, and (ii) to promote the use and conservation of the district for the education, pleasure, and enrichment of the residents of the town and/or the State as a whole, see North Carolina G.S. §160D-940, 944, 947(a).

Historic Photos

Below is a collection of historical photos of the subject property, obtained through a collaboration with Digital Watauga. The photos are displayed in their original size and resolution, as well as in a cropped version that highlights the main features of interest. For each photo, there is a citation.

Staff Note: *Planning Staff did not alter or edit the photos in any way, but only arranged them in this document for presentation purposes. Photos attached here are the best available with the clearest and most complete images of the subject property. Any commentary on the images is from the Digital Watauga technician(s) who found and sent the images to Planning Staff.*



Image courtesy of Digital Watauga Project; Palmer Blair Collection, Digital Watauga Project; Palmer Blair, "Boone's Main Street in 1952," *Digital Watauga*, June 1952, accessed February 3, 2025, <https://digitalwatauga.org/items/show/3638>.



Image courtesy of Digital Watauga Project; Palmer Blair Collection, Digital Watauga Project; Palmer Blair, "Boone's Main Street in 1952," *Digital Watauga*, June 1952, accessed February 3, 2025, <https://digitalwatauga.org/items/show/3638>.



Image courtesy of Digital Watauga Project; David Wyke Collection, Digital Watauga Project; Unknown, "Flood Waters Rush Through Boone, NC, August 13, 1940," *Digital Watauga*, August 13, 1940, accessed February 3, 2025, <https://digitalwatauga.org/items/show/6176>.



Image courtesy of Digital Watauga Project; David Wyke Collection, Digital Watauga Project; Unknown, "Flood Waters Rush Through Boone, NC, August 13, 1940," *Digital Watauga*, August 13, 1940, accessed February 3, 2025, <https://digitalwatauga.org/items/show/6176>.



Image courtesy of Digital Watauga Project; Downtown Boone Development Association Collection, Digital Watauga Project; Unknown, "Watsonatta Western World, King Street," *Digital Watauga*, October 1993, accessed February 3, 2025, <https://digitalwatauga.org/items/show/7033>.



Image courtesy of Digital Watauga Project; Downtown Boone Development Association Collection, Digital Watauga Project; Unknown, "Watsonatta Western World, King Street," *Digital Watauga*, October 1993, accessed February 3, 2025, <https://digitalwatauga.org/items/show/7033>.



Image courtesy of Digital Watauga Project; Glenn Thomas Collection, Digital Watauga Project; Glenn Thomas, "1960 Blizzard, South Side of West King Street, Boone, NC," *Digital Watauga*, March 1960, accessed February 3, 2025, <https://digitalwatauga.org/items/show/5581>.



Image courtesy of Digital Watauga Project; Glenn Thomas Collection, Digital Watauga Project; Glenn Thomas, "1960 Blizzard, South Side of West King Street, Boone, NC," *Digital Watauga*, March 1960, accessed February 3, 2025, <https://digitalwatauga.org/items/show/5581>.



Image courtesy of Digital Watauga Project; John Ward Family Collection, Digital Watauga Project; John Ward, "Wagon Train in Downtown Boone," *Digital Watauga*, Circa 1967, accessed February 3, 2025, <https://digitalwatauga.org/items/show/19876>.



Image courtesy of Digital Watauga Project; John Ward Family Collection, Digital Watauga Project; John Ward, "Wagon Train in Downtown Boone," *Digital Watauga*, Circa 1967, accessed February 3, 2025, <https://digitalwatauga.org/items/show/19876>.

Certificate of Appropriateness for Major Work

Town of Boone Planning & Inspections Department

680 W. King Street, Suite C • Boone, North Carolina 28607

Phone (828) 268-6960 • Fax (828) 268-6961 • Email: planning@townofboone.net • www.townofboone.net**A. Required to be Submitted at Time of Application***Note: A pre-application meeting is required prior to application submittal.**Failure to provide the required information will delay the review and scheduling of the requested hearing.*

- ☐ Digital copies of all paper submittal documents (may be emailed to planning@townofboone.net)
- ☐ Four paper copies of complete site plans meeting the requirements of Town of Boone Unified Development Ordinance (UDO), including UDO Appendix A (max. size 30" x 42")
- ☐ Information in compliance with the Supplemental Checklist on Page 4
- ☐ Property Owner Authorization. If you are not the property owner, you will need to provide documentation of property owner authorization to apply for this permit. You may have the property owner sign this application (Section L), or the property owner can provide a written and signed authorization that clearly states they are authorizing the applicant to submit this application. Permit Fee (See Planning & Inspections Fee Schedule). Each application is allowed two (2) reviews. The 1st review of the submitted information and a 2nd review if revisions or supplemental information is required based upon the 1st review. Each subsequent review after the 2nd review will be charged at 50% of the original fees charged for the application. These fees shall be paid at the time of resubmittal.

B. Requested Hearing – See latest published Meeting Schedule for datesDate of requested hearing: 1/14/25**C. Property Information**

Street Address:

767 W. KING ST (COME BACK SHACK)

Watauga County Parcel Identification Number:

2900797562000

Existing Zoning District(s):

BOONE DOWNTOWN HISTORIC DISTRICT

Total Land Area:

0.48 ACRES

Are there any existing variances or other site-specific approvals granted to the property?

☐ Yes ☐ No ☒ Unknown

If yes, describe:

D. Applicant Information

Name:

ELLIOT COURTNEY FOR FAMILY ONLY INC DBA COME BACK SHACK

Complete Mailing Address (Street, City, Zip):

FAMILY ONLY INC 240 SHADOWLINE DR STE AAI BOONE NC 28607

Phone Number:

828 773 3437

Email Address:

elliott@comebackshack.comPreferred Method of Contact for Written/Response Documents (select one): ☐ Mail or ☒ Email**E. Property Owner Information**

Name:

THE WINKLER ORG.

Complete Mailing Address (Street, City, Zip):

215 BOONE HEIGHTS DR STE 100 BOONE, NC 28607

Phone Number:

828 262 3431

Email Address:

F. Landmark/District Information

District/Landmark Name:

NA

Period of Significance: NA

G. Project Details

Project Cost: \$ 27,000

Project Type:

☒ New Construction

☐ Renovation

☐ Landscaping

☐ Moving Structure

☐ Demolition

H. Design Professional Information

Designer is an: ☒ Architect

☐ Engineer

☐ Owner

☐ Other: _____

Name:

BRENT DAVIS

Company:

BRENT DAVIS ARCHITECTURE

Complete Mailing Address (Street, City, Zip):

189 SALLY ST BUONE, NC 28607 bda

Phone Number:

828-265-4848

Email Address:

bda@bda.arch@yahoo.com

Additional Designer Information: If additional designers are involved beyond the one listed, please provide additional info on a separate sheet

I. Applicant Signature and Property Owner Authorization

I hereby certify that I am authorized to submit this application, that all information is correct and complete, and all work will comply with all applicable State and local laws, ordinances, and regulations.

I acknowledge and agree that the Historic Preservation Commission members, Town employees, and Town agents may enter, solely in performance of their official duties and only at mutually agreeable times, upon the applicant's property for examination or survey thereof pursuant to North Carolina General Statute 160A-400.8.

I understand and agree that an approved Certificate of Appropriateness is valid only for the particular application, plans, specifications, and related project details presented to, and approved by, the Historic Preservation Commission. Any proposed modification or addition must be submitted to the Planning and Inspections Department for review.

By signing below, the applicant agrees to notify the Planning and Inspections Department of any changes or alterations in the data contained in this application, the approved plans, or the approved specifications related to the project that is the subject of this application.

Hearings on Certificate of Appropriateness applications before the Commission are quasi-judicial proceedings. Therefore, Historic Preservation Commission members cannot discuss a pending application with the applicant or other party. By signing below, the applicant agrees to refrain from speaking with or contacting any member of the Historic Preservation Commission about an application outside of the formal evidentiary hearing on the application.

FAMILY ONLY INC

Applicant (Print)

Elmer C. Cuthbert
Applicant (Signature)

12/20/24
Date

Scott Cook

Property Owner (Print)

Scott Cook
Property Owner (Signature)

1/22/25
Date

Official Use Only

Permit Name:				
Permit Number:				
Date:	Fee:	Receipt Number:	Method of Payment: ☐ Cash ☐ Check Number:	Paid By:

Public Hearing Meeting Date: _____

Date of APO Mailed Notification: _____

Date of Posted Notification: _____

Request Approved: ☐ Yes ☐ No

S:\FORMS\PI_Forms_Current\Planning Forms\LocalHistoricLandmark_07012021.docx

COA for Major Work Supplemental Checklist

Note: The following is a checklist for the presentation materials needed for your application. It is the applicant's responsibility to provide adequate photographs, architectural plans, and other material to enable the HPC to understand the proposal and its impact on the historic district/landmark. The consideration of the application may be delayed if preservation materials are not sufficient to evaluate the proposal.

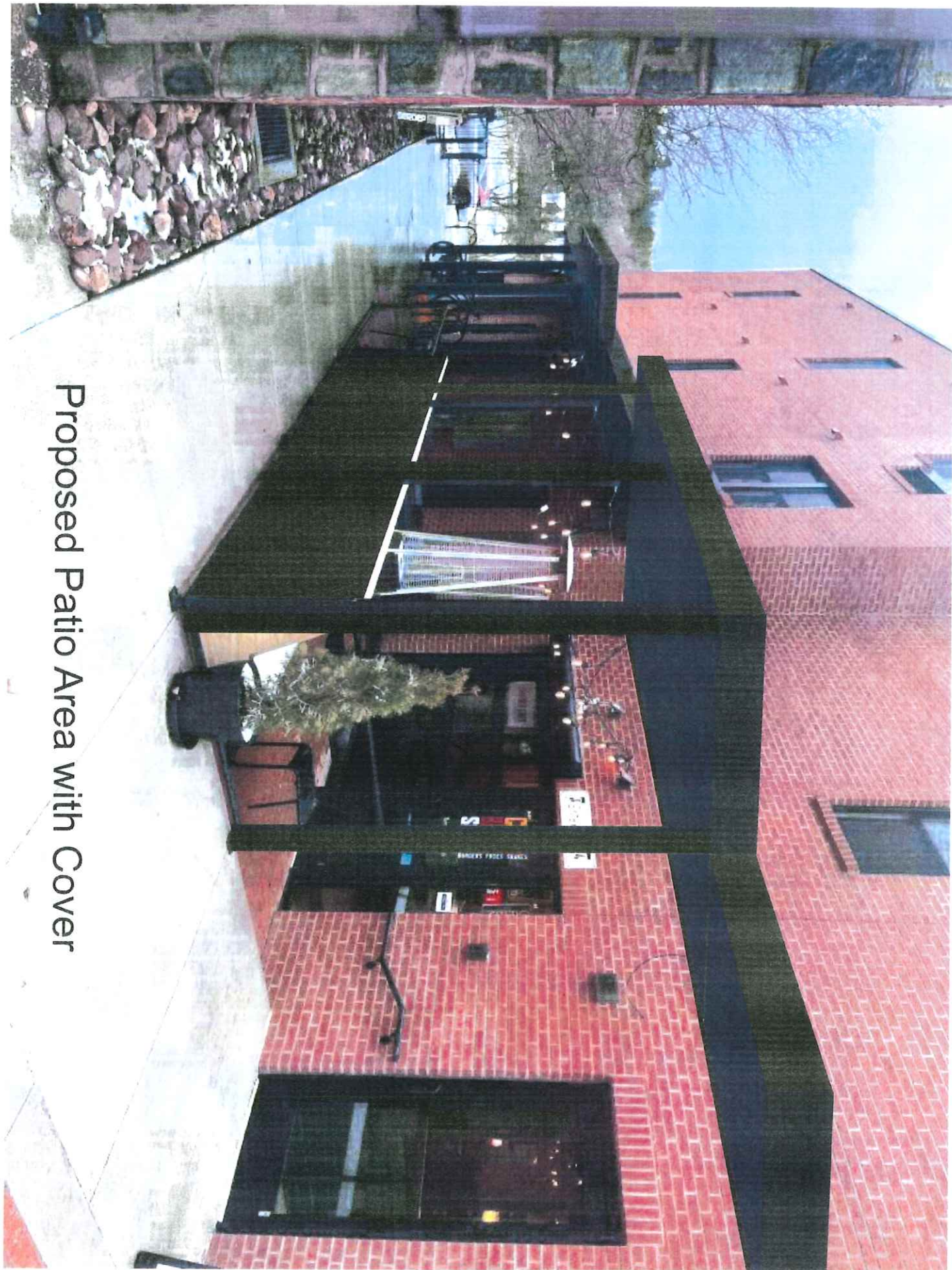
- ☐ Written Description of the proposed work: Describe in detail the scope and nature of the proposed project, including exact material types, colors, and dimensions for materials to be used (e.g., width of siding, color of window trim, type of roofing materials, etc.).
- ☐ Design Standards References: Cite the applicable sections of the design standards related to and/or reflected in the proposed request.
- ☐ Photographs of Existing Conditions: Provide current photographs showing the present conditions of the area where the work will be completed and/or the portions of any existing building that will be affected by the proposed work. Photographs must be clearly labeled and keyed to a site plan.
- ☐ Site Plan: For development which includes modifications to the site in addition to the building, the applicant shall provide scaled drawings prepared in accordance with UDO Appendix A, which depict at least the relationship of all buildings, secondary structures, driveways, sidewalks, fences, drains, lighting, and trees to the property line. Clearly identify the location of any and all proposed changes. Caliper of trees should be indicated as measured from four and a half feet (4.5') above the earth's surface.
- ☐ Historical Documentation: If available, provide copies of historic photographs of the property in question, along with a list of any known previous alterations to the property (and the approximate date of those alterations). If the property is already listed on the National Register of Historic Places or is a designated Local Historic Landmark, include a copy of the nomination text for the property.

Application for Certificate of Appropriateness for Local Historic District

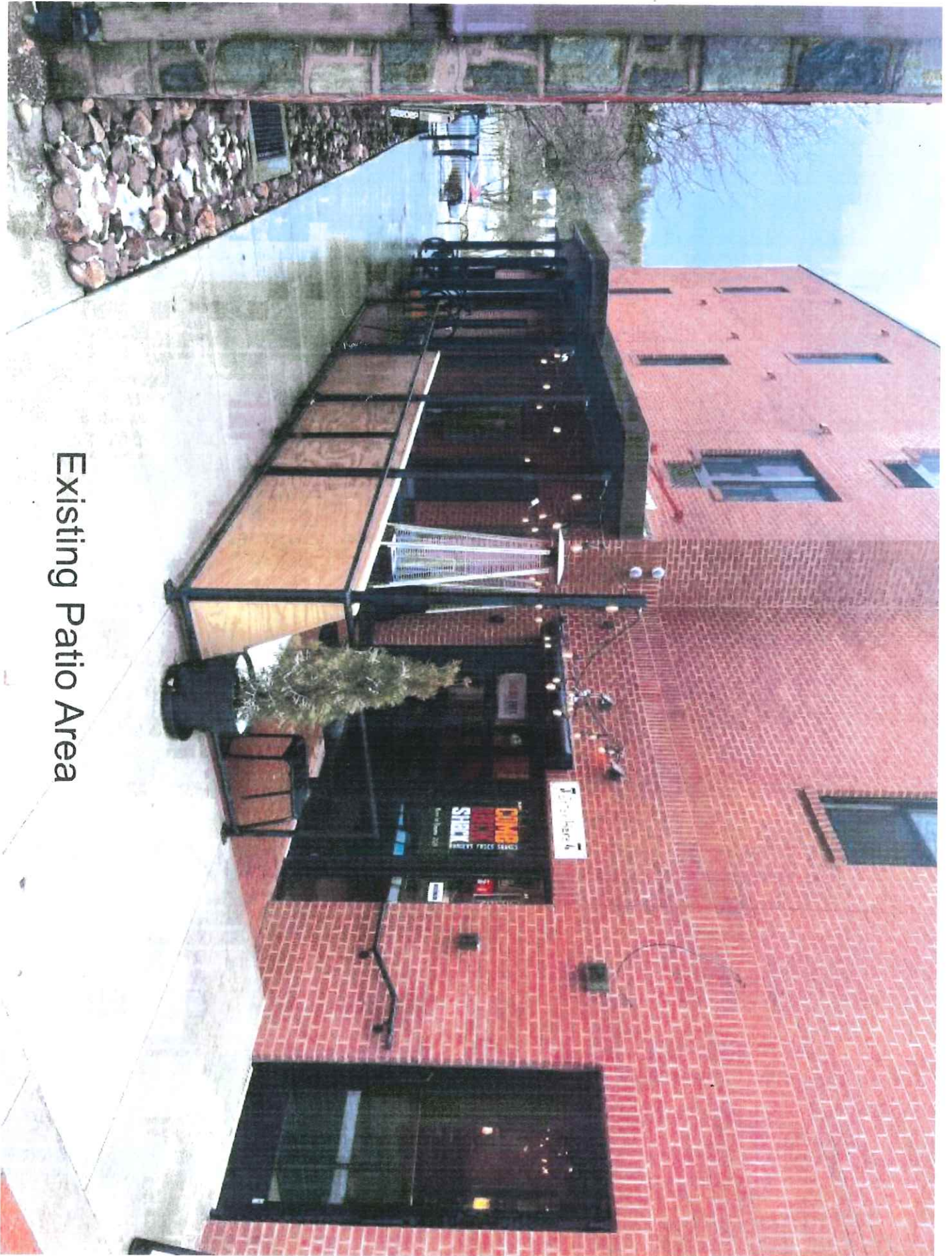
Written Description:

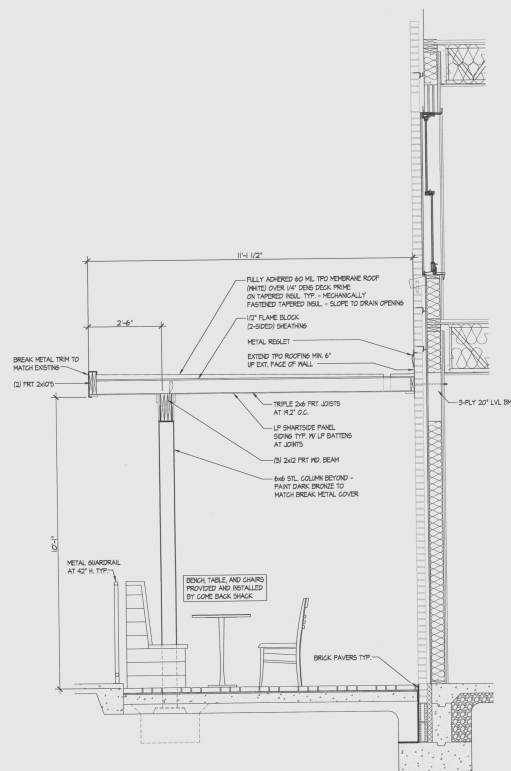
Come Back Shack is looking to extend the current awning on the east side of the Winkler Marketplace building. Our goal is to provide cover to our patio seating area and entry door with a roughly 12' x 19' awning. Additionally, we would like to provide cover to the entry door of the wheelchair accessible entrance with a 4' x 7' awning. The design, materials, and colors would be the same as the existing awning: wood frame construction, steel support posts and tiebacks, metal flashing around the face, EPDM covered flat roof, and painted LP Smartsiding ceiling.

Proposed Patio Area with Cover



Existing Patio Area



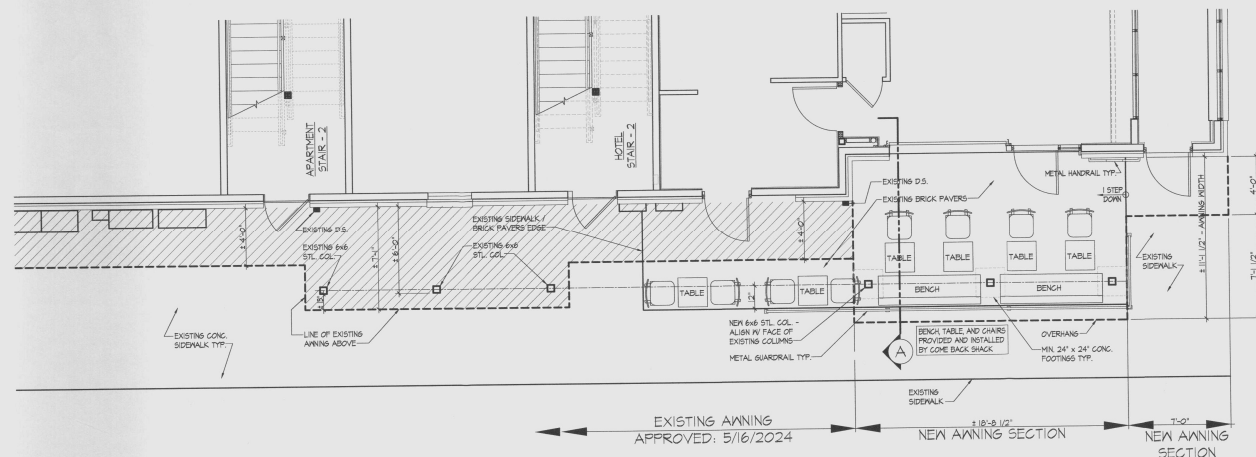


A ANNNING SECTION - COME BACK SHACK
SCALE: 1/2" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION



EAST SIDE ANNING PLAN - COME BACK SHACK
SCALE: 1/4" = 1'-0"



EAST SIDE ANNING ELEVATION - COME BACK SHACK
SCALE: 1/4" = 1'-0"

DEVELOPER:	
MARKETPLACE HOTEL / APARTMENTS	
BOONE, N.C.	
DATE	JOB NO.
7/26/24	CONCEPTUAL DESIGN
8/30/24	FOR TOB APPROVAL
	RE-SUBMITTED
	FOR TOB APPROVAL
BRENT DAVIS ARCHITECTURE, INC.	
BOONE, NORTH CAROLINA	
EAST SIDE ANNING	



Staff Report

March 11, 2025

Case A25-0061 – Comeback Shack - Certificate of Appropriateness for Major Work

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Request

Elliot Coatney, on behalf of Family Only Inc., has submitted an application for a Certificate of Appropriateness for Major Work for the Comeback Shack at 767 W. King Street located in the Downtown Boone Local Historic District. The request includes an addition of a covered patio attached to the structure on the secondary elevation. The subject property is outlined in green on the Zoning Map located on page two.

The Table of Minor Work and Major Work, located in both UDO Article 8, Subsection 8.05.03 and Appendix D, requires the applicant to obtain a (COA) for the addition of an awning or canopy on a non-tertiary elevation.

Staff Notes can be found throughout the report marked in **bold green italicized text**.

Zoning Map



Parcel Information

Address:	767 West King Street
Property Owner:	Howard Street Ventures, LLC
Watauga County Pin:	2900-79-7562-000
Lot Size (Total):	0.48 Acres
Jurisdiction:	Town Of Boone
Access:	West King Street (NCDOT)
SFHA:	No
Watershed District:	No
Corridor District:	No
NCD:	No
Viewshed:	No
Steep Slope:	No
Very Steep Slope:	No
Current Zoning:	B1 Downtown Core, Downtown Boone Local Historic District Overlay The B1 Downtown Core, together with the B1 Downtown Interface District encompass the Town of Boone’s downtown area and represent, in large measure, the remaining vestiges of the Town’s historic character. Regulations in these districts are intended to preserve and maintain a small town, high country atmosphere. Preservation and adaptive reuse of existing historic buildings are encouraged and new construction shall be appropriately scaled to be sympathetic to the existing built environment. Design and regulatory standards for these districts reinforce the character of the downtown as a pedestrian friendly area by encouraging architectural solutions that are visually interesting, and are compatible in scale and character to the surrounding area. To help accomplish this, the area is divided into two (2) districts, each with its own character and scale which contribute to the overall vitality of the downtown area. Identification of the district this parcel is located in is listed below: 1. B1 Downtown Core District: The Downtown Core District is the center of the downtown area and contains the greatest concentration of historic commercial buildings. This district establishes a continuous building facade at the street frontage to strengthen the identity of downtown as a pedestrian destination where pedestrians feel comfortable through the careful selection of building materials, human scale design, and ground floor fenestration. Standards in this district reinforce the historic nature of the existing built environment through regulation of appearance, height, scale and mass. Staff Note: The Downtown Boone Local Historic District is an overlay district, which is a district that overlaps, in this case, the general use B1 zoning district contains standards in addition to the underlying general use district zoning standards. Where requirements conflict, overlay district standards supersede.

Zoning & Use of Adjacent Properties		
	Adjacent Zoning	Adjacent Land Use
North	B1 Downtown Core, Downtown Boone Local Historic District	Business or Professional Office, Restaurant
East	B1 Downtown Core, Downtown Boone Local Historic District	Restaurant
South	B1 Downtown Core, Downtown Boone Local Historic District	Parking Lot
West	B1 Downtown Core, Downtown Boone Local Historic District	Multi-Family in a Mixed Use, Restaurant

Recent Zoning History

- 12-21-2021** The Town of Boone Planning & Inspections department issued a zoning permit for the construction of a Mixed-Use development consisting of 24 multi-family residential units, 20 hotel rooms, and approximately 2,700 square feet of restaurant space.
- 11-29-2023** The Town of Boone Planning & Inspections department issued a building permit for the upfit of the restaurant space for the use as Comeback Shack.

Zoning Analysis (B1 Downtown Core)

The following UDO requirements are required to be met for the proposed addition of a canopy over an existing patio on the secondary elevation unless superseded by any requirements of the Downtown Boone Local Historic District overlay.

The use, 11.06 Restaurants $\leq 3,500 \text{ ft}^2$, is allowed by-right in the B1 Downtown Core zoning district. Only those conditions which affect (or could potentially affect) the exterior façade(s) of the development and thus be relevant to the COA process will be listed here. See staff notes in relevant sections below.

Setbacks: Per UDO Subsection 14.19.04 (E) Interior setbacks: 0', except whenever a lot in a B1 Downtown District has a common boundary line with a lot in an adjacent zoning district, the interior setback requirement applicable to the B1 lot shall be the minimum set forth for the adjacent lot.

Staff Note: *The addition of this canopy constitutes and expansion of the structure but based on the provided site plan would meet the requirements of this ordinance.*

Community Appearance Features: Per UDO Subsection 25.06.02 (D) Publicly visible facades in the Town of Boone must meet the following feature schedule:

Table A
Feature Schedule – Plan

Linear Dimensions, in Plan	Minimum # of Feature Types	Minimum # of Total Features
10' to less than 40'	2	4
40' to less than 80'	3	8
80' to less than 120'	4	12
120'+	5	16

Table B
Feature Schedule – Elevation

Linear Dimensions, in Elevation	Number of Features Required
10' to less than 16'	2
16' to less than 32'	3
32' to less than 48'	4
48'+	5

Staff Note: *The addition of this canopy constitutes the addition of a feature and therefore would be compliant with the requirements of this ordinance.*

Architectural Survey/Designation Report Information

The following three documents are central to the Downtown Boone Local Historic District:

1. [Comprehensive Architectural Survey of Downtown Boone, NC – Final Report](#)
2. [Report and Recommendation for the Designation of the Downtown Boone Local Historic District, Boone, NC](#)
3. [Downtown Boone Local Historic District Standards](#)

The designation report (#2 above), was created using the architectural survey of the downtown area (#1 above) and recommended the Downtown Boone Local Historic District area be designated as a historic overlay district; and the Downtown Boone Local Historic District Design Standards, which are outlined in a separate document (#3 above), are to be applied by the HPC when it considers applications for Certificates of Appropriateness for proposed development within the historic district.

Inventory Classification

The following information has been taken from the designation report (page 69). The property inventory found within the report was specifically written to assess the contributing significance and integrity of the district's resources. Integrity, as determined was based upon the following:

1. design integrity, meaning the building's relationship to its original appearance or altered appearance during the period of significance;
2. material integrity, meaning the building's relationship to original materials during the period of significance or replacement materials that mimic the appearance of original materials during the period of significance;
3. locational integrity, meaning the building's relationship to its original location during the period of significance;
4. integrity of association, meaning the building's relationship to its original or adapted use, function, and purpose during the period of significance; and
5. integrity of relationship to the district as a whole, meaning the building's historical importance to the development of downtown Boone's commercial district during the district's four periods of growth within the period of significance (1918-1964).

Inventory Classifications:

- CA:** Contributes to the character of the district based on architectural significance
- CH:** Contributes to the character of the district based on historical significance related to events or individuals associated with the property
- NC:** Non-contributing property
- VL:** Vacant lot

Staff Note: *The subject property was not included in the Architectural Survey or the Designation Survey due to it not being built at the time of the survey.*

Library of Congress - Sanborn Fire Insurance Maps (Not Applicable)

The Library of Congress has made Sanborn Fire Insurance Maps from 1928 and 1947 accessible. As these years fall within the historic district's period of significance (1918-1964), these maps will be used when

the property in question, or area of the property in question, can be viewed within these maps. The content of the Library of Congress online Sanborn Maps Collection is in the public domain and is free to use and reuse.

Staff Note: The Marketplace Mixed-Use Building was constructed in 2024, thus it is not included on the Sanborn Fire Insurance Maps.

Downtown Boone Local Historic District Design Standards and Handbook Analysis

Narrative

Relevant design standards from UDO Appendix D, Downtown Boone Local Historic District Design Standards and Handbook, Design Standards for Commercial Properties within the District, are outlined below. These Standards for Commercial properties are intended to address many of the most common issues to arise during renovations, additions, and new construction in the District. Where the Standards are silent on a particular issue or concern, the HPC will rely upon the Secretary of the Interior's Standards for Rehabilitation to guide their review of the proposed work under the COA process and any subsequent recommendations.

Staff Note: Please note that many of the standards listed below generally only apply to "historic buildings, storefronts, materials, and elements". This property though located in the local historic district, is not an historic property due to its age of construction. However, the standards have been provided to provide context to the overall requirement for the renovations to be compatible with the rest of the district.

Design Standards for Commercial Properties

"Commercial Property" Defined

A **commercial property** within the District is any property whose purpose-built function at the time of construction was primarily to serve a commercial, institutional, or governmental purpose or use. More specifically, commercial properties include 1) any building whose original configuration included commercial, institutional, or governmental uses on the ground floor accessed via the entrance(s) located on the primary elevation, even if residential spaces were available elsewhere in the building (such as a commercial block building with stores on the first floor and apartments on the second floor), or 2) any building with a garage bay or bays on the ground floor accessed via the entrance(s) located on the primary elevation and commercial, institutional, or governmental spaces located elsewhere in the building (such as a garage building with an office or store located on an upper floor or in the basement).

Any property within the District whose purpose-built function at the time of construction was to serve solely as a residence for long-term (greater than 30 days) occupants, even if the property currently serves a commercial use, is still considered a residential property. For standards for residential properties, please see the "Standards for Residential Properties within the District" section elsewhere in this publication.

1. Storefronts, Upper Facades, Side Elevations, and Rear Elevations

Downtown Boone is dominated by historic properties that reflect the commercial block architecture that was so common and influential during the period from 1910 to 1960 in many American towns and cities. In the case of the District, commercial block development began around 1919 and continued to the early 1960s. Central to this architecture is the importance of the storefront itself, whose familiar architectural details—large display windows, transom bars and windows, clerestory recessed entries, and prominent cornice and corbelling work—frequently signaled to customers not only the function of a business but also the quality of its wares. Many other elements—including projecting, flat awnings anchored to the

façade with cables or steel rods, or fabric awnings amounted on metal frames, hinged or unhinged—provided customers with shelter from the elements while window shopping or otherwise enhanced the shopping experience. After 1950, many of these architectural details were removed, either in response to decay of these features or in an effort to “update” a building to the stylistic preferences of a later time. One such example is the Appalachian Theatre on West King Street, whose original Art Deco marquee and structural glass were removed during the late 1970s in response to safety concerns. Other elements—most notably transoms and clerestory windows, as well as the details of upper facades—were simply covered over and may still survive today underneath modern additions to the facades of many of Boone’s historic downtown properties in the District.

Similarly, secondary and tertiary elevations of many of Boone’s historic commercial properties are vital to the character and integrity of its downtown commercial district. Often, significant side (secondary) elevations are located on corner buildings adjacent to two or even three streets, but sometimes such details are visible on mid-block buildings separated from nearby buildings by an alleyway or a vacant lot. Many of these buildings retain original fenestration, entrances, brickwork, and/or advertisements (some of the “ghost ad” variety) that contribute in their own significant way to the architectural character of the downtown historic district. Similarly, rear (tertiary) elevations can possess many of these same characteristics and also reveal much about the history of a property because of their frequently utilitarian design intended for the workers, owners, and residents who most often saw these rear elevations.

In an effort to preserve what remains of the District’s historic commercial architecture and encourage the reconstruction or rehabilitation of elements that have been removed or covered over, the standards for storefronts, upper facades, and other elevations are intended to facilitate preservation and reconstruction wherever possible while also addressing new construction and its compatibility with the rest of the District.

- 1.1 Whenever possible, historic storefronts and storefront features such as entrance configurations, display windows, doors, clerestory windows, transom bars and windows, bulkheads, corbelling, cornice work, windows, stonework, stringcourses, structural glass, and other architectural flourishes should be retained and preserved. When repairing these features, retain and preserve in place original elements as much as possible. If repair is not possible, replace damaged elements with materials that match the originals in composition, design, texture, color, and other visual qualities.
- 1.4 When original or early storefronts or upper facades no longer exist, are too deteriorated to save, or cannot be reconstructed based on the available documentary evidence, retain the commercial character and any salvageable architectural details through a contemporary design that is compatible with the scale, materials, color, style, design, and texture of the surviving and surrounding historic buildings.
- 1.8 Facade details of side (secondary) and rear (tertiary) elevations should always be retained and preserved if possible. When repairing these features, retain and preserve in place original elements as much as possible. If repair is not possible, replace damaged elements with materials that match the originals in composition, design, texture, color, and other visual qualities. If there is evidence of a rear public entrance that is no longer extant, use historical research and other evidence to reconstruct or provide an equivalent rear entrance whenever possible.

2. Architectural Components and Details

Exterior architectural components, including door and window casings, storefront configurations, cast iron ornamentation, stone relief, cornices, columns, brackets, porch railings, soffits, fascias, roof configurations, trim details, architectural flourishes, and various joinery and surface patterns all contribute significantly to the character and historical integrity of properties located within the District.

Because many of these components are either irreplaceable or very expensive to reproduce, they should be maintained and valued in the same way that one might consider an important family heirloom or expensive antique furniture. In many cases, missing or damaged architectural details can be replaced with like items from salvage yards, antique shops, or mail order companies that specialize in replacement of historic architectural components. If such items cannot be replaced, many construction supply companies stock simulations of period architectural components that are approved by the Secretary of the Interior and the National Park Service as suitable historic replacements. In any event, before replacing any exterior architectural component, property owners should familiarize themselves with the architectural style and historic characteristics of their building to avoid introduction of inappropriate elements.

- 2.2 It is NOT appropriate to cover or remove rather than repair or replace in kind such features when they are deteriorated. If replacement is necessary, the new materials should match the materials being replaced in composition, design, texture, color, and other visual qualities. Original architectural features that are covered should be uncovered, exposed, repaired and/or restored, and maintained.
- 2.3 It is NOT appropriate to cover or replace historic materials with substitute materials, such as aluminum, vinyl, fiber cement board siding (or similar materials simulating the appearance of wood), or plywood panels. Architectural details that are not appropriate to the historic context and character of a building should never be added. At the same time, property owners should never use details from an earlier period to try to make a building look older than it is.
- 2.4 Historic architectural metals, such as pressed tin, aluminum, and cast or wrought iron, should always be retained. If these items are not repairable due to rust or other deterioration, replacement materials should duplicate the form, details, texture, material, size, shape, color, pattern, and composition of the original. When cleaning of architectural metals is necessary, use the gentlest methods possible, such as water, a gentle, non-caustic soap, and soft bristle brushes.

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5. Wooden Elements

Wooden bulkheads below display windows, window sashes, cornices, doors and doorframes, and trim are probably the most common wooden historic materials found on commercial buildings in the District. These wooden design elements are important components of the architectural character and integrity of the District.

Maintaining wooden elements is essential to the preservation of the historic properties on which they appear. In addition to repairing and/or replacing damaged wooden details, it is imperative that a regular maintenance program be in place in order to protect the integrity of historic properties that feature wooden design components. This program should include routine caulking and sealing, cleaning, and painting or staining where appropriate.

- 5.1 The use of artificial siding (vinyl, aluminum, asphalt, asbestos, Masonite, pressboard, hardboard etc.) to cover original wood siding is not permitted in the District because it destroys the integrity of historic properties. Beyond covering up original architectural details, its installation damages the historic materials underneath, and the artificial siding itself often traps moisture that can lead to further damage of the historic materials. Because these man-made materials cover historic natural materials, they can also hide damage caused by termites, carpenter ants, fungi, mold, and other natural invaders. In some very rare instances, some forms of artificial siding may be original to the property. Where this does occur, the original siding material should be maintained and repaired whenever possible.
- 5.3 Because its use is not historic to the District, artificial bark siding is not permitted in the District.

6. Windows, Doors, and Awnings

The arrangement of doors and windows on an historic property is one of the most important elements of building design. It is imperative that these arrangements be preserved in order to maintain the integrity of individual historic properties and the integrity of the District. Because older windows and doors were not always designed with heating and cooling efficiency in mind, it is often tempting to property owners to replace these features with modern doors and windows. Despite the apparent advantages of doing so, replacement with modern doors and windows is often far more expensive than repairing existing historic doors and windows, and their use often completely destroys the integrity of the historic property in question. Furthermore, many companies are now producing “modern” wood replacement windows that replicate the appearance of their historic antecedents with fixed muntins but feature double-pane glass to assist with heating and cooling efficiency. The HPC reviews proposals for the use of modern wood replacement windows carefully to insure that muntin thickness aligns with the muntin dimensions of historic windows.

Boone’s downtown commercial historic district has also suffered from the installation of various architectural elements designed to simulate a “mountain village” appearance. These typically consist of large, wooden porch attachments or awnings that are not historically appropriate to the downtown area and its historic context. Metal and modern vinyl awnings have also appeared on some properties, disrupting the integrity of many of Boone’s historic commercial properties.

- 6.1 The pattern, arrangement, location, size, and shape of windows and doors contribute significantly to a building’s historic character, and their consistency within the district helps unify the buildings in context to one another. For this reason, it is always preferable to repair damaged windows and doors rather than replacing them. Furthermore, it is imperative that the fenestration pattern of the door and window openings on the building and of the doors and windows themselves (muntin width, number of lights per sash, etc.) be maintained when repairs to or replacement of elements is underway. It is never appropriate to introduce new features, such as vents, bays, windows, or door openings, in exterior walls if they diminish the historic character of the wall or damage historic materials.
- 6.5 Reflective or tinted glass is not historically accurate to the District or its historic properties and should never be used. Property owners whose buildings already possess reflective or tinted glass should endeavor to replace this glass with materials that are more historically appropriate to their building and the District.

- 6.7 If a building did not historically possess shutters, they should not be added. Similarly, historic shutter elements should be repaired and retained. Existing shutters should never be replaced with materials that are not historic to the property (metal, vinyl, or plastic shutters, for example), nor should they be replaced with shutters of a different size or configuration, especially those that do not fit the window opening and are attached to existing siding or masonry.
- 6.8 Shutters should be attached to the window casing, not the siding or masonry, unless the original historic context of the property featured shutters attached to the siding or masonry.
- 6.10 Raw metal storm windows and doors are not appropriate. When possible, interior storm windows are encouraged. Avoid poorly designed interior storm windows that can trap moisture between the storm window and the original window, causing damage to historic materials. If exterior storm windows and/or doors are installed, frames should be painted wood or painted or baked enamel finish aluminum.
- 6.11 Awnings, porches, shed roof porticoes, and arcades that attempt to create a “mountain village” appearance or that are not historically accurate to the District’s historic context only work to damage the integrity and appearance of the District. Property owners whose buildings possess such features should endeavor to remove them and restore the facade of their property to its historic appearance. Such “mountain village” treatments should never be incorporated into additions or new construction within the District.
- 6.12 Awnings installed on properties in the District should always be historically appropriate based on available photographic and historical documentation demonstrating the historic presence of such an awning on the property in question. Awning styles with no documented historical precedent should never be added to properties in the District. For example, properties that historically possessed flat awnings anchored by cables or steel rods should retain these kinds of awnings. In cases where they have been removed, and particularly in cases where they have been replaced with modern, clamshell, half-round, or vinyl awnings or awnings that are historically inappropriate to the building, property owners should endeavor to remove the modern feature and restore the original awning configuration with appropriate materials based on historical documentation for that particular building. Another common, historic awning type in the District was the metal-frame, sloped, fabric awning that was sometimes retractable. New sloped awnings should be composed of canvas or acrylic, and never of vinyl. Metal and shed roof awnings are never appropriate, except for historic properties erected after World War II that historically had metal or shed roof awnings at the time of their construction. Awnings should never obscure vital architectural components of the original building. Awnings on new construction or additions should also be historically appropriate to the District and not feature configurations that distract from the historical integrity and continuity of the District.
- 6.13 Awnings on windows, entryways, and porches should be appropriate in design, proportion, scale, and color to the architectural style and period of the property. Window awnings should be mounted within the window or entry opening, directly on the frame. If this is not possible, they should be attached just outside the opening. If attached to a masonry building, all awning attachments should be made in mortar joints and never in the brick itself.

- 6.14 If awnings must double in use as signage, they should be kept discreet and not detract from the architectural features and details of the building. All signage on awnings must comply with the signage requirements of the Town of Boone UDO.
- 6.15 Awnings and canopies that are illuminated from within must be covered or finished with fully opaque material.
- 6.16 New construction, additions, and renovations to existing historic buildings or properties within historic districts should maintain established proportions and spacing of window and door openings.

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8. Entrances, Porches, and Balconies

One of the most significant and defining characteristics of all architecture is the main or front entrance, including any porches that surround or frame that entrance. While most of the commercial buildings in the District employed conventional storefront configurations (see Section 1 of these commercial standards), a handful of properties in the District do not employ traditional commercial entrance configurations. These properties include the Boone Post Office (WT0049), the Wade E. Brown Law Office Building (WT0586), the Watauga County Office Building (WT0607), and the Boone Recreation Parlor (WT0869). Retaining the original porch and entrance components of these buildings is especially important for understanding the building's history in context with the District. Unfortunately, main or front entrances are also often the most altered elements of historic properties.

Many historic entrances, porches, and balconies contain architectural elements that are essential to communicating the architectural style of the home. Machine-carved balustrades, spindles, brackets, entrance surrounds, and posts were common in many of the District's buildings, but hand-worked elements were also not uncommon. Preserving these details is vital to preserving the appearance and integrity of the District's historic architecture.

- 8.1 Entrances, porches, and balconies, as used in this section, include front (primary elevation), side (secondary elevation), and rear (tertiary elevation) porches, mudrooms, porticos, sleeping porches, balconies, pergolas, terraces, widow's walks, and entrances. Components of porches include steps, balustrades, columns, trellises, skirt boards, fascias, brackets, and various ornamental details. Most original porches and balconies were built with a slight pitch away from the residence to facilitate the runoff of rainwater.
- 8.2 Because of their architectural significance, porches, balconies, and entrance configurations—especially those on the front or primary elevation—and all of their architectural details (steps, balustrades, brackets, spindlework, columns, roofs, etc.) should be preserved in their original form and detail whenever possible. It is inappropriate to enclose porches and balconies on the front (primary) elevation for use as an interior space. In addition, the original pitch of porches and balconies should be maintained in order to facilitate the runoff of rainwater and snowmelt. Porches and balconies must be properly maintained and repaired as necessary, as they are exposed to the weather and will deteriorate if regular maintenance is not conducted.
- 8.5 Whenever possible, existing, non-historical enclosures of and additions to historic porches and balconies should be removed and the original appearance of the porch or balcony restored.

- 8.6 Side and rear porches (i.e., not located on the primary elevation) may be enclosed for interior space, provided that the proposed design of the enclosure is compatible with the architecture of the historic property and the enclosure is reversible. Side porches and rear porches not located on the main elevation may also be screened, provided that framing for the screening and the screening itself is placed behind columns or balustrades. Any such enclosures or screening should be designed so that they can later be removed without damage to the integrity of the historic structure.
- 8.7 Original porch steps should always be retained. If repair or replacement of porch step materials is necessary, the design, configuration, dimensions, and materials should match the original as closely as possible. In addition, historic stairways and walkways in front of a building—even though not technically part of the building’s architecture—are nevertheless an important part of the landscape that accompanies the property and often inform the architectural style and patterns of the property. These elements should always be retained and repaired with appropriate materials whenever possible.
- 8.8 Decks may be added on the rear elevation of a historic property, provided their addition does not require the removal of large, healthy trees, and their design is compatible in scale with the historic property and district. They should always be designed and installed in such a manner that they may be removed without damage to the historic building. Removal of historic building materials to facilitate the installation of a deck is never acceptable.
- 8.9 Vegetative screening should be employed to obscure the visibility of decks from the street. The underside of decks should also employ latticework or vegetative screening to incorporate the deck element into the general whole of the property in question.
- 8.10 Floor coverings, such as artificial turf, indoor/outdoor carpeting, linoleum, and other similar materials (aside from a small doormat near an entrance) should never be installed on porch, balcony, or deck floors, as these materials can trap water and damage the historic architectural elements below.

9. Paint and Paint Color

For most of the District’s historic commercial properties, which typically were made of masonry and rarely painted, determining historic paint colors, except on trim, ornamentation, windows, original stucco walls, or other architectural details, is usually not a problem. While color chronology tests can help to determine original paint colors (contact the State Historic Preservation Office for assistance), this process is difficult, sometimes inconclusive, and often expensive.

While the HPC does not regulate paint colors in the District per se, property owners are required to submit proposed paint samples as part of any COA application and seek guidance from the HPC and/or the State Historic Preservation Office when considering paint schemes for historic properties. Nevertheless, paint colors and applications must comply with all other general requirements outlined in the Town of Boone UDO. Beyond this, some general standards are applied by the HPC when considering paint in relation to historic properties.

- 9.3 Select paint colors that are appropriate for the building’s architectural style and that are complementary to neighboring buildings. In general, color should function as a method of contrasting among different materials and architectural elements that make up the building. Contrasting colors that accent architectural details and entrances are discouraged, however,

except in those cases where this design element was common to the historic architectural style of an existing historic property and there is historic precedent for such accenting.

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11. Accessibility, Health, and Safety Considerations

Modern building codes and/or the needs of the people who own, shop, work, and live in historic properties often mean that a variety of accessibility and safety elements must be installed in those properties. Careful planning insures that the integrity of historic properties can be maintained in spite of the addition of these non-historic elements.

- 11.3 Construct fire exits, stairs, landings, and ramps in such a manner that they do not damage or significantly obscure historical materials and features. Such additions should be designed to be complementary to the architectural style, materials, scale, and function of the historic property.
- 11.4 Whenever possible, existing exterior fire escapes and stairways that are not original to historic properties should be relocated from front or exposed elevations to a rear or unexposed elevation.

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13. Additions to Existing Buildings in the District

The completion of an addition to a historic property may improve the functionality of an existing building, but it also has the potential to seriously damage the historical integrity of that property. Generally speaking, additions accordingly should be kept to a minimum and always be reversible without resulting in permanent damage to the essential form and integrity of the historic property.

- 13.1 New additions should be compatible with the original building in scale, placement, proportion, and design, including roof shape, materials, color, location and design of windows and doors, cornice heights, and other design elements. Synthetic, non-traditional materials are not permitted in alterations to existing buildings, and the use of the highest-quality, historically appropriate, exterior facing materials is encouraged.
- 13.2 New additions should NOT imitate an earlier historic style or architectural period, but they also should not differ from the earlier historical style so much as to be a distraction from or incompatible with the historic design.
- 13.3 Additions should be differentiated from the original by the use of setbacks or other devices. Whenever possible, additions should be located to the rear (tertiary elevation) or in an inconspicuous location on the side (secondary elevation) of the original building. They should never be attached to the front of the historic property. Additions such as rooftop penthouses or additional stories should NOT be constructed unless there is documented historic evidence (such as the prior removal of a similar historic feature) to justify the change.
- 13.4 An addition should NOT obscure the original form and proportions of the main building or of other historical additions. Do not add fanciful decorative elements and colors that are out of place or not in keeping with the historic context of the District and/or an individual historic property.

- 13.5 Additions should be constructed on a smaller scale than the historic structure and not overpower it.
- 13.6 Construction should be carried out in a manner that avoids removal or loss of historic materials and damage or destruction of significant original architectural features.
- 13.7 Construction should impact the exterior walls of the original building as minimally as possible using existing door and window openings for connecting the addition to the original building.

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14. New Construction of Commercial Buildings within the District

It is inevitable that new commercial buildings will be constructed within the District. The intention of these design standards is not to prevent such changes but to ensure that new construction is compatible with and complementary to the integrity and architectural character of the District. While new commercial buildings should not attempt to replicate existing historic properties, they should mesh with and support the historic design principles of the other commercial properties in the District. These standards are intended to preserve the integrity of the District while also encouraging sensitive and appropriate new construction.

- 14.1 New commercial construction within the District should not seek to duplicate historic buildings in the District or mimic their appearance. That said, new construction should strive to be sensitive to and compatible with the character-defining features of the commercial properties in the District. Thus, new construction should employ architectural design that reflects its current time, place, use, and culture, provided that this design is compatible with the character of the District.
- 14.2 New construction should incorporate the predominant historic materials typical in surrounding historic buildings when possible—usually brick, native stone, structural glass, wooden trim, and similar historic materials. Synthetic, non-traditional materials, such as vinyl, synthetic stone, fiber cement board, aluminum, plywood, parging, and pre-formed concrete panels, are not permitted in new construction. It is NOT appropriate in new construction to use contemporary substitute materials in place of traditional materials. The use of the highest-quality, historically appropriate, exterior facing materials is encouraged.
- 14.3 Design, height, massing, and proportions of new buildings should complement and be compatible with the dimensions of neighboring buildings with similar character and style. New buildings should not overpower adjacent buildings or the District as a whole as a result of out-of-scale massing, footprint, height, or overhang. Roofs, fenestration, and materials should be compatible with surrounding buildings. Traditional separations between storefronts and upper facades should be maintained and consistent with those existing in adjacent or nearby buildings. Vertical divisions maintain the feeling of traditional building widths and should be maintained. New buildings generally should align with adjacent buildings facing on the same street and conform to existing setbacks from the street. The primary façade and main building entry shall face the primary public way.
- 14.4 Reserved
- 14.5 The appropriateness of the site for a new commercial construction project will be evaluated based upon its compatibility with the district context in terms of setback, spacing, orientation, topography, height, and landscaping. New buildings should have setbacks,

- orientation, lot coverage, and spacing that align with existing historic properties and comply with the provisions of the Town UDO.
- 14.6 New construction should respect the existing topography and vegetation on the site. Large-scale grading to level or otherwise dramatically alter the natural slope of a lot is destructive to the historic landscape and is not appropriate. Whenever possible, existing trees and historic landscape features should be incorporated into the design for a new property. If large trees must be removed, they should be replaced with trees similar in type and species. During construction, any mature tree that will not be removed should be protected with appropriate fencing around the tree's canopy area that will eliminate construction parking, material storage, and concrete washout that could harm the mature tree.
- 14.7 The appropriateness of a proposed new commercial building will be evaluated based on compatibility in terms of scale, height, form, massing, materials, openings, roof pitch, roof type, and other details with the District context.
- 14.8 New commercial construction should incorporate architectural elements and details into new construction that provide human scale. Do not add fanciful decorative elements and colors that are out of place or not in keeping with the historic context of the District and/or adjacent historic properties.
- 14.9 Oversized and monumental scale architecture is not appropriate, and the overall height and width of the new buildings should be compatible with neighboring structures and Town UDO requirements.
- 14.10 Historically, most of Boone's downtown commercial buildings had flat roofs. Residential roof types are not permitted in new commercial buildings. Roof planes should be hidden from view on the façade, and rooflines should be decorated using historic decorative details, using historic photographs and/or neighboring buildings as a guide. Walls should not appear to terminate at flat roofs, except along the tertiary elevation. Instead, flat roofs should be concealed from view by using historically appropriate pitched roof features, parapets, or a mixture thereof. Where only one elevation has this condition, the parapet or other feature will continue four feet along the adjacent elevation. The minimum slope for pitched roofs is four feet vertically to every twelve feet horizontally. Where a parapet intersects with a pitched roof element, there shall be no apparent breaks in the parapet wall.

Design Standards for Historic Streetscapes, Landscapes, Monuments, and Other Resources in the District

1. Streetscapes

In contrast to the natural elements around which communities are often organized, historic streetscapes instead represent the built environment that defines the character, context, and components around which a community grows and evolves. Typically, buildings are the most obvious and dominant streetscape features, but this type of landscape includes other elements, including the spaces between buildings, private yards, alleyways and streets, sidewalks and other pedestrian elements, lighting, fences, public benches, retaining walls, monuments, public art, and street signage.

With regard to all streetscapes in the District, the following standards should be observed:

- 1.1 The form, scale, and massing of building facades located along public ways should be preserved.
- 1.2 The width, alignment, and configuration of streets, alleys, sidewalks, and walkways within the District should be retained and preserved.
- 1.5 When installing new street and building lighting, select fixtures that complement the height and character of existing streetscape features and surrounding architecture, and that align with the historic context of the properties in question. Employ the minimal street lighting levels required for public safety while striving to eliminate light pollution. Whenever possible, lighting should be directed toward the ground, away from surrounding properties, and be shielded from direct view.
- 1.6 All historic streetscape elements between buildings—most particularly road width, grade, crown, swale, curbing, sidewalks, lawns, tree plantings, and setbacks—should be preserved and maintained.
- 1.7 Shared and public open spaces visible from public ways created by private yards, natural settings, and building setbacks should be preserved and maintained.
- 1.9 Existing historic block patterns, setbacks, and other land divisions—both natural and created—should be maintained.
- 1.11 Historic street paving and sidewalk materials, as well as historic curbing, should be retained and preserved, using salvaged or historically compatible materials when repairs are necessary. If historic materials cannot be found, substitute materials may be used, provided they replicate the durability, color, texture, and appearance of the original historic materials.
- 1.13 New paving and sidewalk materials, especially new accessibility features, should be designed to be consistent with the character and appearance of historic paving materials.
- 1.15 Materials, architectural features, and entrance orientations of all historic buildings associated with historic streetscapes should be preserved and maintained. Non-historic architectural features, including promenades, porches, and other additions to buildings intended to create an imagined “mountain village” appearance that is not an accurate reflection of the District’s historic buildings and streetscapes, should be removed and/or altered to more accurately reflect the context and history of Boone’s streetscapes. When possible, public-private partnerships, including programs like the Main Street Façade Grant program, should be utilized to restore historic streetscape features.

Automatic Conditions of Approval

The following conditions are automatically included and a part of any approval.

- Where there is a conflict between the application information and the plans (August 30, 2024) the plans control. Insignificant deviations may be permitted to comply with the requirements of the UDO.
- Any commitments and representations concerning the proposed exterior modification made by the applicant or its representatives at the public hearing shall also become a condition of the permit, and a basis for a stop work order and/or permit revocation if violated.

- The applicant shall submit the necessary applications, plans, details and specifications which meet the requirements of the Town Code, UDO, Building Code and any other applicable codes for review and approval necessary to issue Zoning and Building Permits.

Historic Preservation Commission Procedure

In considering this application for a COA the HPC shall base their decisions solely on the basis of competent, material and substantial evidence entered into the record via the application packet and sworn testimony at the public hearing.

The question before the Historic Preservation Commission is whether or not the proposed development is congruous (i.e., in agreement, in harmony) with the special character of the historic district. If the proposed exterior modification is congruous, the Commission shall issue the requested COA. If the proposed exterior modification is incongruous (not in agreement, not in harmony) with the special character of the historic district, the Commission shall deny the requested COA. The Commission shall approve, approve with conditions, or the deny the COA by majority vote.

Vote: The proposed development ☐ is congruous OR ☐ is incongruous with the special character of the Downtown Boone Local Historic District and is approved subject to the following conditions (as warranted):

1. Conditions:

Criteria for Conditions: The Commission may issue approval subject to reasonable conditions necessary to carry out the purposes served by the historic district (see G.S. 160D-940, 160D-947(a)). The purposes of the historic district are to (i) safeguard the heritage of the town insofar as the Historic District embodies important elements of the town's culture, history, architectural history, and/or prehistory, and (ii) to promote the use and conservation of the district for the education, pleasure, and enrichment of the residents of the town and/or the State as a whole, see North Carolina G.S. §160D-940, 944, 947(a).

Historic Photos

Staff Note: Planning Staff does not have historic photos for this property as it was constructed outside of the period of significance for the Downtown Boone Local Historic District.